

2022 Guide to Tennis Venue Services

SEE BELOW FOR HELPFUL HINTS AND AVAILABLE RESOURCES



BUSINESS SERVICES

- USTA assistance and support with liaising between public and private developers.
- Forecasting and financial recommendations that help determine project cost estimates.
- Identifying potential partners and funding sources
- Assistance with business plan preparation and review
- Providing recommendations for operations and staffing

TECHNICAL SERVICES

- Assessment of existing facility to address any problems with tennis courts, lights, etc.
- Preparation of existing facility rehabilitation or renovation plans
- Review of contract bids
- Review of construction documents to ensure all project details are clear, accurate and concise • Recommendations for alternative or cost saving methods for construction, grading and drainage plans

ADVOCACY SERVICES

- Complimentary [USTA Community Advocacy Handbook](#)
- Assist project leaders in developing their project's position and identifying a special proposal
- Provide tennis research and data to outline opportunities

DIGITAL TOOLS

- Create custom online programs and manage financial transactions with ease
- Oversee court bookings, sell and manage services, and connect with customers in one place
- Promote your business with easy email marketing and a free custom website

FACILITY FUNDING

- The USTA offers a competitive grant to facilities that meet additional requirements outlined below:

Categories	Funding Description	USTA Contribution
CATEGORY I	Basic facility improvements, including fixed court amenities (i.e. backboards, fencing, windscreens, etc.) and blended line installation on existing courts.	Up to 50% of total project cost (\$5,000 maximum)
CATEGORY II	Resurfacing of existing 36', 60' and 78' courts. Converting an existing 78' court to stand-alone 36' courts. Lighting costs.	Up to 50% of total project cost (\$25,000 maximum) 2 - 3 courts = \$7,500 max 4 - 11 courts = \$15,000 max 12+ courts = \$25,000 max
CATEGORY III	New construction or existing facility reconstruction of 36', 60' and 78' courts.	Up to 50% of total project cost (\$50,000 maximum) 2 - 3 courts = \$20,000 max* 4 - 11 courts = \$35,000 max* 12+ courts = \$50,000 max

**Additional funds may be available for indoor projects.*

CONTACT US

EMAIL FACILITIES@USTA.COM TO GET YOUR PROJECT STARTED TODAY

DESIGNATED ELECTION OFFICIAL (DEO) CANCELTATION
AND DECLARATION OF CANDIDATES ELECTED

§1-13.5-513, C.R.S.

I, Sarah E. E. Shepherd, hereby certify, the only matter before the electors is the election of persons to office, and that at the close of business on March 1, 2022, prior to the election being held May 3, 2022, for the Sundance Hills Metropolitan District, there were not more candidates than offices to be filled at the election (including candidates filing affidavits of intent to be a write-in candidate) and that I have been instructed to cancel the election by resolution of the board, attached hereto.

DEO CERTIFIES THE ELECTION IS HEREBY CANCELLED AND THE FOLLOWING CANDIDATES DECLARED ELECTED FOR THE FOLLOWING TERMS OF OFFICE:

Vacancy 1-year term

Vacancy 3-year term



(DEO signature)

March 1, 2022
(Date)

Contact Person for District:
Sarah E. E. Shepherd
PO Box 359
Littleton, CO 80160

Telephone number & address of the District:
PO Box 359
Littleton, CO 80160
303-482-1002

***Or any applicable time thereafter.**
Procedural instructions: File together with Board Resolution appointing DEO, form SD-5, in lieu of SD-12, board resolution cancelling election.



Regular Meeting Agenda

Sundance Hills Metropolitan District
Board of Directors

[Zoom Link](#), or dial 1-669-900-6833

Meeting ID: 842 2646 1931

Date: March 9, 2022

Time: 5:30 – 7:30 pm

Passcode: 030922

Board Members	Office	Term Expires
Mike Draudt	VP – Tennis Facilities	5/2023
Jeff Erb	President	5/2023
Amy Fehr	Treasurer	5/2022
Bailey Foley	Secretary	5/2022
Gabe Gelman	VP – Buildings & Grounds	5/2023

Topic

- 1. Call to order/approve agenda/notice of meeting**

 - 2. Declaration of quorum and conflicts of interest**

 - 3. Consider approval of Minutes of the January 10, 2022 Regular Meeting**

 - 4. Facility budget scope discussion**
 - a. Scope, site plan and budget by Essenza, as needed
 - b. Construction update:
 - i. Existing conditions sewer lines
 - ii. Dive board installation release

 - 5. Board member items**

 - 6. Public input**

 - 7. Financial matters**
 - a. March 2022 financial report for the period ending January 31, 2022 and February 28, 2022
 - b. Discussion regarding Sailfish Room rental policy and procedures
 - c. Discuss operation and capital projects reserve funding

 - 8. Legal items**
 - a. Elections update

 - 9. Buildings & Grounds**
 - a. Swimming pool and Swim Team Update
 - b. Community center (Sailfish Room)
 - c. Tennis update
 - d. Open space updates

 - 10. Adjournment:** The next regular meeting is scheduled for April 20, 2022 at 5:30 pm via Zoom due to construction at the Sailfish Room
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**MINUTES OF THE JANUARY 10, 2022 REGULAR MEETING
OF THE BOARD OF DIRECTORS OF
THE SUNDANCE HILLS METROPOLITAN DISTRICT
BOARD OF DIRECTORS**

A Regular meeting of the board of directors was held at 5:32 pm on January 10, 2022 via Zoom.

Attendance

Directors:

Mike Draudt, Vice President, Tennis Facilities
Amy Fehr, Treasurer
Bailey Foley, Secretary
Gabe Gelman, Vice President, Buildings & Grounds

Absent: Jeff Erb, President, attendance excused by the Board

Other attendees:

Max Pedersen - FCI Construction
Lori Boccato, Swim Team Representative
Scott and Sheryl Berman, Resident
Mike Buck, Resident
Donna Johnston, Resident
Terry Wong, Resident and Tennis Representative
Tom Boucha - FCI Construction
Molly Carr - Swim Team Representative
Melissa Lanning, Essenza Architecture
Christa Plaza, Essenza Architecture
JC Chambers, MPM Recreation Management
Jack Campbell, Resident
Nick Hinton, Resident
Corinne O'Doherty, Resident
Stacey Sarsfield, Resident
Rebecca Hite, Resident and Tennis Representative
Sarah Shepherd, District Management
Lindsey Reese, District Management

**Call to
Order/Agenda/**

Director Gelman called the meeting to order at 5:32 pm and declared a quorum.

Conflicts of interest: Upon motion by Director Fehr and seconded by Director Foley, the Board approved the agenda 4-0.

Public Input: Swim Team Update
The swim team and concession closets have been cleaned out.

Tennis League Update
Terry Wong provided an update to the Board. Mr. Wong requested there is enough lead time to notify the leagues if the tennis courts are not available. Ms. Shepherd will confirm the time frame with FCI, should the tennis court wall project be within budget.

Facility Budget Scope Discussion Tom Boucha from FCI presented an update to the Board. Pool construction has started and this week they will be working on draining the pool this week so the tile work can be started.

Melissa Lanning with Essenza presented an update to the Board. Ms. Lanning reviewed the alternatives list with the Board. The splash pad spray features were discussed. There isn't a cost savings to choose one over the other, as all three pieces come together. Discussion followed. The group discussed utilizing the side storage area in a more efficient way.

Christa Plaza discussed the waterline tile having some delays and concerns the pool wouldn't open on time. The provider was able to provide some alternate tile options. Essenza will look through the updated options and Director Foley and Director Gelman will work with Essenza on approval of the tile reselection.

Ms. Lanning reviewed the updated entryway design with the Board. The new design was an updated version for saving money. Discussion followed.

Pool construction meetings are scheduled every Thursday to review construction progress and submittals, either in person or virtually.

Financial Matters January 2022 Financial Report for the period ending December 31, 2021

Director Fehr presented the financial report with the Board.

Upon motion by Director Foley and seconded by Director Gelman, the Board voted 4-0 to approve the financial reports, as presented.

Sailfish Room rentals

The Board would like to review the process for Sailfish Room rentals once it is open again for rentals. Further discussion will follow with a smaller group of people to start the discussion.

Board Member & Manager Items: Upon motion by Director Draudt and seconded by Director Fehr, the Board voted 4-0 to approve the November 17, 2021, December 7, 2021, and December 22, 2021 Meeting Minutes, as presented.

Adjournment: Meeting adjourned at 7:48 pm by acclamation.

The next meeting will be a Regular Meeting, held on March 9 at 5:30 p.m. via Zoom.

Secretary for meeting

Cash Balance as of December 31, 2021 \$ 2,202,950.47

Deposits

2021 Bond

Interest		\$	50.42
	<i>Total</i>	\$	50.42

Wells Fargo / ColoTrust Legacy

Arapahoe County Tax Receipts (Net)	\$	728.80	
Global Payments	\$	200.00	
Transfer from ColoTrust	\$	58,030.75	Project Costs Incurred (Jan 2022)
State of Colorado	\$	1,538.56	12/2021
Interest (Wells Fargo & ColoTrust Legacy, Cap Interest)	\$	1.97	
	<i>Total</i>	\$	60,500.08

Total Deposits \$ 60,550.50

Disbursements (Wells Fargo)

Payee	Check #	Amount	Description
Global Payments	EFT	\$ 48.66	Processing Fees
Comcast Cable	EFT	\$ 144.49	Monthly Service
Utility Notification Center of Colorado	EFT	\$ 2.64	Monthly Service
Spencer Fane LLP	EFT	\$ 645.00	Monthly Service
Schilling & Company, Inc.	EFT	\$ 240.32	Monthly Service
Amy Fehr	EFT	\$ 92.35	1/10 Board Meeting
Bailey Foley	EFT	\$ 92.35	1/10 Board Meeting
Gabe Gelman	EFT	\$ 92.35	1/10 Board Meeting
Michael Draudt	EFT	\$ 92.35	1/10 Board Meeting
FCI Constructors, Inc.	5566	\$ 56,270.40	APP 001
Security Central	EFT	\$ 91.35	Q1 Monitoring
Denver Water	EFT	\$ 112.04	Monthly Services
Xcel Energy	EFT	\$ 1,849.27	Monthly Service
Castlewood Sanitation	EFT	\$ 410.00	1/1/22 - 6/30/22
Special District Association	5567	\$ 1,237.50	2022 Renewal
Essenza Architecture	EFT	\$ 17,278.00	Monthly Services
JBK Landscape, LLC	EFT	\$ 105.00	Enhancement Contract #1 (50% Billed to HOA)
JBK Landscape, LLC	EFT	\$ 480.00	Snow Removal
The Villager	EFT	\$ 57.72	Legals - Board Nominations
Internal Revenue Service	5568	\$ 933.30	Form 944 2021
	<i>Total Disbursements</i>	\$	80,275.09

Disbursements (ColoTrust Project Fund)

Payee	Check #	Amount	Description
Transfer to Wells Fargo Operating Account	TXFR	\$ 58,030.75	Project Costs Incurred

Disbursements (ColoTrust Cap Interest)

Payee	Check #	Amount	Description
Transfer to Wells Fargo Operating Account	TXFR	\$ -	Cap Interest

Cash Balance as of January 31, 2022 \$ 2,125,195.13

Bank Account Balances as of January 31, 2022

Wells Fargo		
	<i>Operating Account</i>	\$ 102,243.66
	<i>Checks Not Cleared</i>	\$ (933.30)
	<i>Money Market</i>	\$ 1,508.88
ColoTrust		
	<i>Restricted - Capital Projects</i>	\$ 13,093.56
	<i>Emergency Fund</i>	\$ 12,000.00
	<i>General Fund & Capital Projects</i>	\$ 4,269.59
		\$ 29,363.15
	<i>2021 Project Fund / Bond Proceeds</i>	\$ 1,993,012.44
	<i>Cap Interest</i>	\$ 0.30
	<i>Cost of Issuance Account</i>	\$ -
	Total Cash Position	<u>\$ 2,125,195.13</u>

FCI Constructors - Payment Analysis

	<i>Completed to Date</i>	\$ 59,232.00
	<i>Retainage Payable</i>	\$ (2,961.60)
	<i>Due</i>	\$ 56,270.40

Cash Balance as of January 31, 2022 \$2,125,195.13

Deposits

2021 Bond

Interest		\$	54.98
	Total	\$	54.98

Wells Fargo / ColoTrust Legacy

Arapahoe County Tax Receipts (Net)	\$	3,523.80	
Global Payments	\$	2,203.20	Membership Fees, Global Payments Credit
Transfer from ColoTrust	\$	204,145.70	Project Costs Incurred (2022)
Interest (Wells Fargo & ColoTrust Legacy, Cap Interest)	\$	1.89	
	Total	\$	209,874.59

Total Deposits \$ 209,929.57

Disbursements (Wells Fargo)

Payee	Check #	Amount	Description
Comcast Cable	EFT	\$ 146.36	Monthly Service
JBK Landscape, LLC	EFT	\$ 260.00	Snow Removal
Circuit Rider of Colorado, LLC	EFT	\$ 34,214.98	Dec 2021 Services plus GV Permit Reimbursement
Global Payments	EFT	\$ 55.37	Processing Fees
Utility Notification Center of Colorado	EFT	\$ 2.60	Monthly Service
FCI Constructors, Inc.	5569	\$ 129,973.30	APP 002
Dan Kennedy Plumbing & Heating	EFT	\$ 180.00	Sewer Scoping for Reno
Xcel Energy	EFT	\$ 572.16	Monthly Service
Denver Water	EFT	\$ 45.93	Monthly Service
SCI Engineering, Inc.	EFT	\$ 1,600.00	Materials Testing / Inspection Services (2/1-2/11/22)
Schilling & Company, Inc.	EFT	\$ 517.14	Monthly Service
	Total Disbursements	\$	167,567.84

Disbursements (ColoTrust Project Fund)

Payee	Check #	Amount	Description
Transfer to Wells Fargo Operating Account	TXFR	\$ 204,145.70	Project Costs Incurred

Disbursements (ColoTrust Cap Interest)

Payee	Check #	Amount	Description
Transfer to Wells Fargo Operating Account	TXFR	\$ -	Cap Interest

Cash Balance as of February 28, 2022 \$1,963,411.16

Bank Account Balances as of February 28, 2022

Wells Fargo		
	Operating Account	\$ 143,616.25
	Checks Not Cleared	\$ -
	Money Market	\$ 1,508.89
ColoTrust		
	Restricted - Capital Projects	\$ 13,093.56
	Emergency Fund	\$ 12,000.00
	General Fund & Capital Projects	\$ 4,270.44
		\$ 29,364.00
	2021 Project Fund / Bond Proceeds	\$1,788,921.72
	Cap Interest	\$ 0.30
	Cost of Issuance Account	\$ -
	Total Cash Position	<u>\$1,963,411.16</u>

FCI Constructors - Payment Analysis

	Completed to Date	\$ 196,046.00
	Retainage Payable	\$ (9,802.30)
	Total	\$ 186,243.70
	Less Payments to Date	\$ 56,270.50
	Due	<u>\$ 129,973.20</u>

**Sundance Hills Metropolitan District
Profit and Loss Budget Performance**

January

	Jan 22	Budget	Jan 22	YTD Budget	Annual Budget
General Fund					
Revenues					
305 · Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 57,600.00
310 · Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 720.00
311 · Sr Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 5,500.00
312 · Sr Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 900.00
315 · Non-Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 69,000.00
320 · Non-Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 1,800.00
322 · Caregiver Pool Pass	\$ -	\$ -	\$ -	\$ -	\$ 500.00
324 · Daily Use Fees (Pool)	\$ -	\$ -	\$ -	\$ -	\$ 1,500.00
327 · Tennis Fees	\$ -	\$ -	\$ -	\$ -	\$ 800.00
328 · Resident Tennis (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 700.00
329 · Non-Resident Tennis (Indv)	\$ 200.00	\$ 200.00	\$ 200.00	\$ 200.00	\$ 3,000.00
335 · Sailfish Room Rental	\$ -	\$ -	\$ -	\$ -	\$ 3,000.00
336 · Pool Rental (Off Season)	\$ -	\$ -	\$ -	\$ -	\$ 20,000.00
340 · Other Income	\$ -	\$ -	\$ -	\$ -	\$ 840.00
405 · Property Tax - General Fund	\$ -	\$ -	\$ -	\$ -	\$ 130,055.41
415 · Specific Ownership Tax	\$ 728.80	\$ 728.80	\$ 728.80	\$ 728.80	\$ 19,029.00
420 · Interest Income	\$ 1.19	\$ 1.19	\$ 1.19	\$ 1.19	\$ 10.00
425 · ColoTrust Interest	\$ 51.20	\$ 50.00	\$ 51.20	\$ 50.00	\$ 50.00
435 · Colorado CTF	\$ 1,538.56	\$ 1,538.56	\$ 1,538.56	\$ 1,538.56	\$ 4,800.00
Total Revenues	\$ 2,519.75	\$ 2,518.55	\$ 2,519.75	\$ 2,518.55	\$ 319,804.41
Expense					
601 · Pool Management (Contract)	\$ -	\$ -	\$ -	\$ -	\$ 126,100.00
602 · Pool RM&S	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00
603 · Pool Chemicals	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00
605 · District Management (Contract)	\$ -	\$ -	\$ -	\$ -	\$ 13,500.00
606 · District Management Expenses	\$ -	\$ -	\$ -	\$ -	\$ 4,400.00
607 · District Management Special Svc	\$ -	\$ -	\$ -	\$ -	\$ 5,500.00
610 · Facility RM&S	\$ -	\$ -	\$ -	\$ -	\$ 8,000.00
612 · Grounds Maint Contract	\$ -	\$ -	\$ -	\$ -	\$ 15,760.00
613 · Grounds Other RM&S	\$ 482.64	\$ 482.64	\$ 482.64	\$ 482.64	\$ 8,750.00
625 · Tennis RM&S	\$ -	\$ -	\$ -	\$ -	\$ 1,000.00
630 · Playground RM&S	\$ -	\$ -	\$ -	\$ -	\$ 500.00
631 · Landscaping / Beautification	\$ 105.00	\$ 105.00	\$ 105.00	\$ 105.00	\$ 3,000.00
634 · Pool Team Subsidy	\$ -	\$ -	\$ -	\$ -	\$ 5,000.00
636 · Cable/HSP/Phone	\$ 144.49	\$ 144.49	\$ 144.49	\$ 144.49	\$ 4,000.00
637 · Security	\$ 91.35	\$ 91.35	\$ 91.35	\$ 91.35	\$ 782.00
650 · Water	\$ 112.04	\$ 112.04	\$ 112.04	\$ 112.04	\$ 17,000.00
652 · Sewer	\$ 410.00	\$ 410.00	\$ 410.00	\$ 410.00	\$ 820.00
654 · Gas	\$ 1,322.26	\$ 1,322.26	\$ 1,322.26	\$ 1,322.26	\$ 15,000.00
657 · Electricity	\$ 527.01	\$ 527.01	\$ 527.01	\$ 527.01	\$ 10,000.00
670 · Insurance	\$ -	\$ -	\$ -	\$ -	\$ 11,362.50
671 · Special District Association	\$ 1,237.50	\$ 1,237.50	\$ 1,237.50	\$ 1,237.50	\$ 1,237.50
672 · Legal Services	\$ 21.00	\$ 21.00	\$ 21.00	\$ 21.00	\$ 5,000.00
674 · Audit Services	\$ -	\$ -	\$ -	\$ -	\$ 5,400.00
675 · Accounting Services (DistrCPA)	\$ 240.32	\$ 240.32	\$ 240.32	\$ 240.32	\$ 8,000.00
676 · Accounting Services (DistrMgr)	\$ -	\$ -	\$ -	\$ -	\$ 4,900.00
677 · Election Expense	\$ -	\$ -	\$ -	\$ -	\$ 5,000.00
680 · Bank / Bill Pay Fees	\$ -	\$ -	\$ -	\$ -	\$ 100.00
682 · Newsletter/Ads/Website	\$ 57.72	\$ 57.72	\$ 57.72	\$ 57.72	\$ 7,000.00
684 · Postage/Supplies	\$ -	\$ -	\$ -	\$ -	\$ 300.00
690 · Payroll Taxes	\$ 30.60	\$ 30.60	\$ 30.60	\$ 30.60	\$ 383.00
715 · AC Collection Fees (Gen)	\$ -	\$ -	\$ -	\$ -	\$ 1,951.00
740 · Director's Fees	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 5,000.00
760 · CivicRec Processing Fees	\$ 48.66	\$ 48.66	\$ 48.66	\$ 48.66	\$ 5,000.00
765 · CivicRec Administration	\$ -	\$ -	\$ -	\$ -	\$ 4,500.00
Total Expenses	\$ 5,230.59	\$ 5,230.59	\$ 5,230.59	\$ 5,230.59	\$ 328,246.00
Net Income (Loss) General Fund	\$ (2,710.84)	\$ (2,712.04)	\$ (2,710.84)	\$ (2,712.04)	\$ (8,441.59)

	Jan 22	Budget	Jan 22	YTD Budget	Annual Budget
Bond Service Fund					
Revenue					
410 · Property Tax - Bond Service	\$ -	\$ -	\$ -	\$ -	\$ 141,792.70
Total Revenue	\$ -	\$ -	\$ -	\$ -	\$ 141,792.70
Expense					
705 · Bond Principal	\$ -	\$ -	\$ -	\$ -	\$ 70,000.00
710 · Bond Interest	\$ -	\$ -	\$ -	\$ -	\$ 64,100.00
712 · Bond Service Fees	\$ -	\$ -	\$ -	\$ -	\$ 1,000.00
720 · AC Collection Fees (Bond)	\$ -	\$ -	\$ -	\$ -	\$ 1,050.00
Total Expense	\$ -	\$ -	\$ -	\$ -	\$ 136,150.00
Net Income (Loss) BSF	\$ -	\$ -	\$ -	\$ -	\$ 5,642.70
Capital Projects Fund					
820 · Pool/Facility Improvements	\$74,172.40	\$74,172.40	\$74,172.40	\$ 74,172.40	\$ 1,976,059.29
Total	\$74,172.40	\$74,172.40	\$74,172.40	\$ 74,172.40	\$ 1,976,059.29

	Feb 22	Budget	Jan - Feb 22	YTD Budget	Annual Budget
General Fund					
Revenues					
305 · Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 57,600.00
310 · Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 720.00
311 · Sr Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 5,500.00
312 · Sr Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 900.00
315 · Non-Resident P/T (Fam)	\$ -	\$ -	\$ -	\$ -	\$ 69,000.00
320 · Non-Resident P/T (Indv)	\$ -	\$ -	\$ -	\$ -	\$ 1,800.00
322 · Caregiver Pool Pass	\$ -	\$ -	\$ -	\$ -	\$ 500.00
324 · Daily Use Fees (Pool)	\$ -	\$ -	\$ -	\$ -	\$ 1,500.00
327 · Tennis Fees	\$ -	\$ -	\$ -	\$ -	\$ 800.00
328 · Resident Tennis (Indv)	\$ 100.00	\$ 100.00	\$ 100.00	\$ 100.00	\$ 700.00
329 · Non-Resident Tennis (Indv)	\$ 2,100.00	\$ 2,100.00	\$ 2,300.00	\$ 2,300.00	\$ 3,000.00
335 · Sailfish Room Rental	\$ -	\$ -	\$ -	\$ -	\$ 3,000.00
336 · Pool Rental (Off Season)	\$ -	\$ -	\$ -	\$ -	\$ 20,000.00
340 · Other Income	\$ -	\$ -	\$ -	\$ -	\$ 840.00
405 · Property Tax - General Fund	\$ 1,060.11	\$ 1,060.11	\$ 1,060.11	\$ 1,060.11	\$ 130,055.41
415 · Specific Ownership Tax	\$ 1,341.14	\$ 1,341.14	\$ 2,069.94	\$ 2,069.94	\$ 19,029.00
420 · Interest Income	\$ 1.04	\$ 1.04	\$ 2.23	\$ 2.23	\$ 10.00
425 · ColoTrust Interest	\$ 55.83	\$ -	\$ 107.03	\$ 50.00	\$ 50.00
435 · Colorado CTF	\$ -	\$ -	\$ 1,538.56	\$ 1,538.56	\$ 4,800.00
Total Revenues	\$ 4,658.12	\$ 4,602.29	\$ 7,177.87	\$ 7,120.84	\$ 319,804.41
Expense					
601 · Pool Management (Contract)	\$ -	\$ -	\$ -	\$ -	\$ 126,100.00
602 · Pool RM&S	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00
603 · Pool Chemicals	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00
605 · District Management (Contract)	\$ 1,125.00	\$ 1,125.00	\$ 1,125.00	\$ 1,125.00	\$ 13,500.00
606 · District Management Expenses	\$ 74.02	\$ 74.02	\$ 74.02	\$ 74.02	\$ 4,400.00
607 · District Management Special Svc	\$ 600.00	\$ 600.00	\$ 600.00	\$ 600.00	\$ 5,500.00
610 · Facility RM&S	\$ -	\$ -	\$ -	\$ -	\$ 8,000.00
612 · Grounds Maint Contract	\$ -	\$ -	\$ -	\$ -	\$ 15,760.00
613 · Grounds Other RM&S	\$ 262.60	\$ 262.60	\$ 745.24	\$ 745.24	\$ 8,750.00
625 · Tennis RM&S	\$ -	\$ -	\$ -	\$ -	\$ 1,000.00
630 · Playground RM&S	\$ -	\$ -	\$ -	\$ -	\$ 500.00
631 · Landscaping / Beautification	\$ -	\$ -	\$ 105.00	\$ 105.00	\$ 3,000.00
634 · Pool Team Subsidy	\$ -	\$ -	\$ -	\$ -	\$ 5,000.00
636 · Cable/HSP/Phone	\$ 146.36	\$ 146.36	\$ 290.85	\$ 290.85	\$ 4,000.00
637 · Security	\$ -	\$ -	\$ 91.35	\$ 91.35	\$ 782.00
650 · Water	\$ 45.93	\$ 45.93	\$ 157.97	\$ 157.97	\$ 17,000.00
652 · Sewer	\$ -	\$ -	\$ 410.00	\$ 410.00	\$ 820.00
654 · Gas	\$ 205.16	\$ 205.16	\$ 1,527.42	\$ 1,527.42	\$ 15,000.00
657 · Electricity	\$ 367.00	\$ 367.00	\$ 894.01	\$ 894.01	\$ 10,000.00
670 · Insurance	\$ -	\$ -	\$ -	\$ -	\$ 11,362.50
671 · Special District Association	\$ -	\$ -	\$ 1,237.50	\$ 1,237.50	\$ 1,237.50
672 · Legal Services	\$ -	\$ -	\$ 21.00	\$ 21.00	\$ 5,000.00
674 · Audit Services	\$ -	\$ -	\$ -	\$ -	\$ 5,400.00
675 · Accounting Services (DistrCPA)	\$ 517.14	\$ 517.14	\$ 757.46	\$ 757.46	\$ 8,000.00
676 · Accounting Services (DistrMgr)	\$ -	\$ -	\$ -	\$ -	\$ 4,900.00
677 · Election Expense	\$ -	\$ -	\$ -	\$ -	\$ 5,000.00
680 · Bank / Bill Pay Fees	\$ -	\$ -	\$ -	\$ -	\$ 100.00
682 · Newsletter/Ads/Website	\$ -	\$ -	\$ 57.72	\$ 57.72	\$ 7,000.00
684 · Postage/Supplies	\$ -	\$ -	\$ -	\$ -	\$ 300.00
690 · Payroll Taxes	\$ -	\$ -	\$ 30.60	\$ 30.60	\$ 383.00
715 · AC Collection Fees (Gen)	\$ 15.90	\$ 15.90	\$ 15.90	\$ 15.90	\$ 1,951.00
740 · Director's Fees	\$ -	\$ -	\$ 400.00	\$ 400.00	\$ 5,000.00
760 · CivicRec Processing Fees	\$ 52.17	\$ 52.17	\$ 100.83	\$ 100.83	\$ 5,000.00
765 · CivicRec Administration	\$ -	\$ -	\$ -	\$ -	\$ 4,500.00
Total Expenses	\$ 3,411.28	\$ 3,411.28	\$ 8,641.87	\$ 8,641.87	\$ 328,246.00
Net Income (Loss) General Fund	\$ 1,246.84	\$ 1,191.01	\$ (1,464.00)	\$ (1,521.03)	\$ (8,441.59)

	Feb 22	Budget	Jan - Feb 22	YTD Budget	Annual Budget
Bond Service Fund					
Revenue					
410 · Property Tax - Bond Service	\$ 1,155.79	\$ 1,155.79	\$ 1,155.79	\$ 1,155.79	\$ 141,792.70
Total Revenue	\$ 1,155.79	\$ 1,155.79	\$ 1,155.79	\$ 1,155.79	\$ 141,792.70
Expense					
705 · Bond Principal	\$ -	\$ -	\$ -	\$ -	\$ 70,000.00
710 · Bond Interest	\$ -	\$ -	\$ -	\$ -	\$ 64,100.00
712 · Bond Service Fees	\$ -	\$ -	\$ -	\$ -	\$ 1,000.00
720 · AC Collection Fees (Bond)	\$ 17.34	\$ 17.34	\$ 17.34	\$ 17.34	\$ 1,050.00
Total Expense	\$ 17.34	\$ 17.34	\$ 17.34	\$ 17.34	\$ 136,150.00
Net Income (Loss) BSF	\$ 1,138.45	\$ 1,138.45	\$ 1,138.45	\$ 1,138.45	\$ 5,642.70
Capital Projects Fund					
820 · Pool/Facility Improvements	\$164,169.26	\$164,169.26	\$ 238,341.66	\$ 238,341.66	\$ 1,976,059.29
Total	\$164,169.26	\$164,169.26	\$ 238,341.66	\$ 238,341.66	\$ 1,976,059.29



Counselman · Hunsaker

AQUATICS FOR LIFE

Introduction

Essenza Architecture commissioned Counselman-Hunsaker to perform a site visit to the Sundance Hills Metropolitan District Pool and Park, located at 5626 S Galena St in Greenwood Village, Colorado. The design team visited the site on December 7th, 2020. Based upon observations from the site visit and discussions with the Owner/Operation team, Counselman-Hunsaker has produced a narrative outlining the aquatic deficiencies of the facility, as well as an opinion of probable cost for recommended or requested facility improvements.

Improvements will be divided into three categories: 1-year improvements, 2-5 year improvements, and 6-10 year improvements. Each improvement will have a magnitude of importance based upon existing conditions when compared to modern aquatic facility standards and Colorado Pool Code (CDPHE 5 CCR 1003-5 Swimming Pools and Mineral Baths).

Overview

Based upon information from conversations with the Owner/Operations group, the Sundance Hills Metropolitan District Pool was constructed in the early 80s. Given this information, the pool is approximately 40 years old. A majority of large-scale, commercial-grade swimming facilities are built and designed to have an active lifespan of 50 years. There are three bodies of water in the facility. Each body of water is described below:

- **Lap Pool** – Six (6) lane 25-yard pool with accompanying starting blocks, lane lines, and stair entry. Approximate surface area of ~3400sf, with depths ranging from 3ft to 5ft.



- **Dive Pool** – Deep-water pool with one (1) 1-meter and one (1) 3-meter diving board and accompanying safety padding. Approximate surface area of ~1350sf, with depths ranging from 6ft to 12ft. The dive pool was winterized and covered during the C-H site visit.



- **Wading Pool** – Shallow-water pool with an approximate surface area of ~300sf and a constant depth of 1ft. The wading pool was winterized and covered during the C-H site visit.



All three (3) of the pools utilize a skimmer perimeter overflow system, pre-cast coping stones, and a plaster finish. Underwater lights are in place at the lap pool. All three (3) pools utilize high rate sand filtration, natural gas fired heating, plastic commercial pool pumps, and TriChlor erosion feeder systems.

Observations & Recommendations

1. Vertical depth markers are beginning to fade, and contrasting nosings are not provided at the Lap Pool stair entry per code. C-H recommends various tile work around the pools to remedy these issues.



2. All pool plaster is in poor condition and is approaching the end of its useful life. C-H recommends resurfacing all three bodies of water with a proprietary quartz aggregate cementitious finish (Diamond Brite).



3. In several locations, the precast coping stone and caulking at the expansion joint shows signs of aging, cracking, and damage. Select stones and caulking around the Lap Pool are in need of replacement. Condition of stones and caulking could not be confirmed for the Diving Pool and Wading Pool.



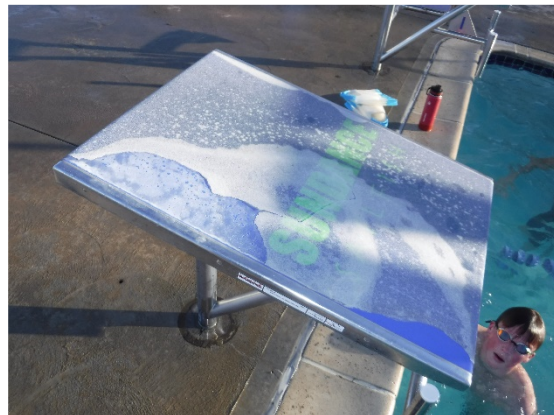
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6. Six (6) starting blocks are provided at the Lap Pool. The platforms show signs of aging and delamination. C-H recommends resurfacing starting blocks to renew non-slip material. It is important to note that the Lap Pool maximum depth of 5ft meets USASwimming starting platform requirements for competition and experienced swimmers, but not for teaching racing starts.



7. Various deck equipment is in fair condition and is beginning to show signs of aging. C-H recommends replacing backstroke stanchions, lane ropes, pool covers, cover reels, and safety covers for use during winterization.



8. A portable ADA lift was observed, but it was not anchored pool-side as required by ADA. C-H recommends providing ADA access for all three (3) pools: permanent installation for existing lift at the Lap Pool, new ADA lift installation at the Diving Pool, and include a zero-depth entry at the Wading Pool replacement. Lifts cannot be moved from pool-to-pool, as this requires staff assistance for disabled patrons.



9. Based on website pictures, one (1) drain is provided at the Wading Pool. A minimum of two (2) drains must be provided in each pool to meet VGB compliance and state code. C-H recommends installing an additional main drain sump and grate. Additionally, VGB requires all main drain grates to be replaced every ten (10) years. C-H recommends replacement of all main drain grates at all pools.



10. The wading pool is outdated and does not meet modern aquatic industry standards. C-H recommends a replacement of the existing wading pool with a larger, zero-depth entry wading pool with ground sprays, interactive spray features, a toddler slide, a play structure, or a combination of these items.



11. The diving board locations were measured while on-site. Both springboards are within 10ft of the side walls of the diving pool, which violates code. The dive stand guard rails do not protrude past the pool wall, which creates a safety hazard. C-H recommends re-installing dive stands to provide adequate dimensions to side walls. C-H also recommends replacement of dive stand guard rails.



12. The diving pool envelope could not be measured on-site due to the safety cover installation. The pool's maximum depth could not be confirmed while on-site. The envelope must comply with the minimum dimensions shown in section 3.1 of Colorado Pool Code – staff to confirm. If dimensions are not met, Diving Pool modification is recommended. Refer to Appendix C for discussion of options.



13. The safety padding located underneath the diving boards is deteriorating and requires repair (short term) or replacement (long term). C-H recommends installing watertight foam protection - SoftSide by RenoSys at diving board locations.



14. TriChlor is currently added to the pools using Pentair gravity erosion feeders. pH buffer feed systems and water chemistry controllers are not present per aquatic industry standards. C-H recommends providing dedicated chemical storage rooms and installing the following for each pool system: automated calcium hypochlorite erosion feeder, automated pH buffer chemical feed system, and a dedicated water chemistry controller.



15. Exposed pool piping within the mechanical room is made of several different materials. Select runs of piping are not properly supported. Cross-connections were observed between pools, which goes against modern aquatic industry standards. C-H recommends replacement of all exposed pool piping to Schedule 80 PVC that is properly supported in all locations and is labeled/colored per code.



16. Recirculation pumps for the Lap and Dive Pools are Pentair Commercial Plastic Pumps. Staff indicated that these pumps are roughly six (6) years old. Staff mentioned that pumps shake during operation. This is due to the pumps being located above water level. C-H recommends replacing the recirculation pumps in kind, but providing a pump pit, VFDs, gauges, and concrete housekeeping pads for proper operation.



17. Vertical high rate sand filtration tanks are provided at the Lap and Dive Pools. The filter tanks and piping show signs of aging. Schedule 40 PVC face piping is provided which does not meet industry standard. Gauges are missing from the face piping. C-H recommends providing horizontal high rate sand filtration tanks with Schedule 80 PVC face piping, backwash valves with mechanical linkages, and influent/effluent gauges.



18. Two natural gas fired pool heaters are provided: one is by Laars (~20 years old) and the other is by Raypak (~12 years old). Heaters are in working order, but show their age and are reaching the end of their lifespans. C-H recommends like-kind heater replacements (manufacturer selection by Owner). Heaters should be provided with CPVC influent/effluent piping and shall be sized for pool use during shoulder seasons.



19. The existing Wading Pool equipment is included in the corner of the room. In order to meet all applicable codes and industry standards, C-H recommends providing new recirculation and heating equipment when the Wading Pool is replaced.



OPINION OF PROBABLE COST



Counsilman - Hunsaker
AQUATICS FOR LIFE

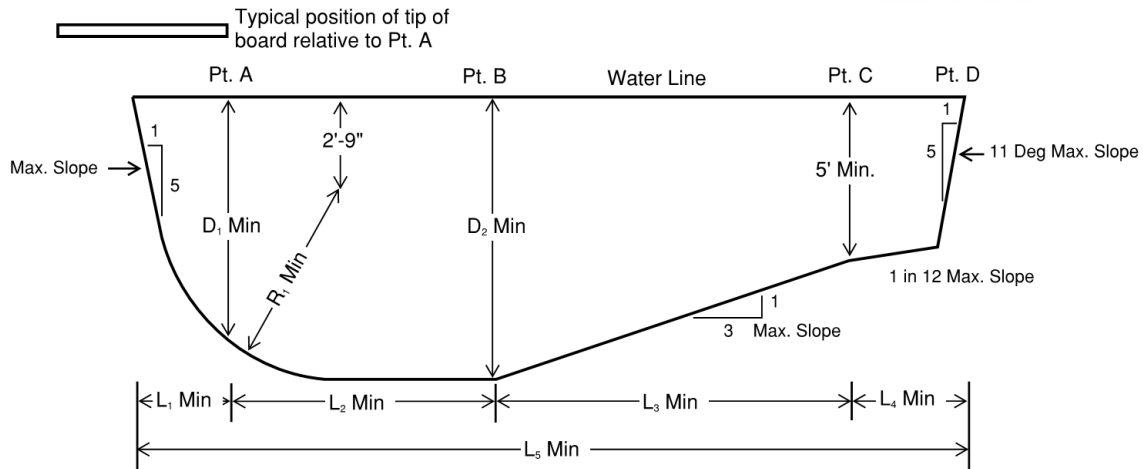
Sundance Hill Metro District Pool and Park Renovation
*PRELIMINARY Opinion of Probable Construction Cost

3/11/2021

<u>ITEM</u>	<u>PRIORITY</u>	<u>COST</u>
<u>1 Year Improvements</u>		
Depth Marker and Contrasting Nosing Tile Work - Lap Pool	MEDIUM	\$4,500.00
Plaster Replacement - All Pools	HIGH	\$131,500.00
Pre-Cast Coping & Caulking Selective Replacement - All Pools	MEDIUM	\$3,000.00
Water Tightness Test for Piping and Structures - All Pools	HIGH	\$8,000.00
ADA Lift Installations - Lap & Diving Pools	HIGH	\$10,500.00
VGB Main Drain Modification - Wading Pool	HIGH	\$18,000.00
Safety Padding Minimum Patch Repairs - Diving Pool	HIGH	\$1,500.00
VGB Main Drain Grate Replacement - All Pools	HIGH	\$2,500.00
<i>1 Year Subtotal</i>		<u>\$179,500.00</u>
<u>2-5 Year Improvements</u>		
Starting Block Top & Step Resurfacing - Lap Pool	MEDIUM	\$6,000.00
New Pool Covers & Reels - Lap & Diving Pools	MEDIUM	\$30,000.00
New Backstroke Stanchions - Lap Pool	LOW	\$1,000.00
New Lane Ropes - Lap Pool	MEDIUM	\$2,500.00
Pool Safety Covers Replacement - All Pools	LOW	\$14,000.00
LED Underwater Light Fixtures & Cord - Lap Pool	MEDIUM	\$6,000.00
Pool & Mechanical Equipment Replacement (~1200sf) - Wading Pool	MEDIUM	\$490,000.00
Dive Stand Options - Diving Pool	HIGH	Refer to Appendix C
Safety Padding Replacement - Diving Pool	MEDIUM	\$32,500.00
Replace Recirculation Pumps - Lap & Diving Pools	HIGH	\$14,500.00
Recirculation Pump Gauges and Housekeeping Pads - Lap & Diving Pools	HIGH	\$3,000.00
Add Pump Pit	HIGH	Refer to Structural
Replace Filters & Face Piping - Lap & Diving Pools	HIGH	\$65,000.00
Replace Pool Heaters (Standard Efficiency) - Lap & Diving Pools	MEDIUM	\$81,000.00
<i>2-5 Year Subtotal</i>		<u>\$745,500.00</u>
<u>6-10 Year Improvements</u>		
Automatic Sanitizer System (Calcium Hypochlorite) - Lap & Diving Pools	LOW	\$21,000.00
pH Buffer System (Muriatic Acid) - Lap & Diving Pools	LOW	\$8,500.00
Automated Water Chemistry Controllers - Lap & Diving Pools	MEDIUM	\$22,000.00
Replace all Exposed Mech Room Piping & Supports - Lap & Diving Pools	HIGH	\$45,000.00
Provide Recirculation Pump VFDs - Lap & Diving Pools	LOW	\$11,000.00
Add Chemical Storage Rooms	MEDIUM	Refer to Architectural
<i>6-10 Year Subtotal</i>		<u>\$107,500.00</u>
TOTAL AQUATICS COST ESTIMATE (Inflation & general contractor mark-up not included)		\$1,032,500.00
Contingency	15%	\$1,187,375.00
TOTAL AQUATICS COST ESTIMATE		\$1,188,000.00

The Consultant has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable cost are representative only of the Consultant's judgment as a design professional familiar with the construction industry. The Consultant cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinion of probable costs.

APPENDIX A: Colorado Pool Code Section 3.1 - Required Diving Envelopes



Note: L4 is a minimum dimension to allow sufficient length opposite the board. This may of course be lengthened to form the shallow portion of the pool.

Related Diving Equipment		Minimum Dimensions								Minimum Width of Pool at		
Max Diving Board length	Max Board Height Over Water	D ₁	D ₂	R ₁	L ₁	L ₂	L ₃	L ₄	L ₅	PT.A	PT.B	PT.C
210'	26" (2/3 meter)	7'-0"	8'-6"	5'-6"	2'-6"	8'-0"	10'-6"	7'-0"	28'-0"	16'-0"	18'-0"	18'-0"
12'	30" (3/4 meter)	7'-6"	9'-0"	6'-0"	3'-0"	9'-0"	12'-0"	4'-0"	28'-0"	18'-0"	20'-0"	20'-0"
16' 1	1 meter	8'-6"	10'-0"	7'-0"	4'-0"	10'-0"	15'-0"	2'-0"	31'-0"	20'-0"	22'-0"	22'-0"
16' 3	3 meter	11'-0"	12'-0"	8'-6"	6'-0"	10'-6"	21'-0"	0	37'-6"	22'-0"	24'-0"	24'-0"

L1, L3, L4, combined represent the minimum distance from the tip of board to pool wall opposite diving equipment.

APPENDIX B: Short Narrative Regarding Energy Efficiency at Aquatic Facilities

Counsilman-Hunsaker has designed many facilities at varying levels of efficiency. The unfortunate truth is that pools are inherently very costly in terms of energy. However, there are many different techniques that can be applied to reduce these costs. One major technique is already used at Sundance: applying pool covers nightly while the facility is closed is one of the best ways to conserve energy. Pool Covers significantly lower the energy required for heating, and they also conserve water by preventing evaporation at the pool surface.

Other techniques can be applied to increase efficiency. In most modern pool designs, pumps are supplied with Variable Frequency Drives (VFDs) to prevent the pump from overworking. Automated water chemistry controllers and feed systems can also save yearly costs by reducing the amount of chemicals required. Pool Heating technology has come a long way – ultra-high efficiency indirect gas fired pool heaters are now available. Generally, these heaters cost more upfront, but pay for themselves with longer warranties, less maintenance, and lower natural gas costs. Supplemental technology provided by the Mechanical Consultant can also be used to increase efficiency, such as Solar Panels or rejected heat loops from Dehumidification Units.

APPENDIX C: Options for Diving Boards at Sundance

Diving envelopes must be measured at the Sundance Diving Pool. During the site visit by C-H, the pool was winterized with a safety cover so the diving pool could not be observed, and measurements could not be taken. The options below describe different avenues the Owner could take, based upon findings once measurements are taken.

Option 1: Grandfathering – C-H discussed with a representative (John Bergstrom) at the local Tri-County Health Department to see what would be required if renovations are completed at the existing Diving Pool. The equipment such as pumps, filters, heaters, exposed piping, and plaster could be replaced without disrupting the current Grandfather Status of the 1-meter and 3-meter diving boards; so long as the pool structure is not modified. While this would result in minimal costs required at the pool for the dive stands, C-H still highly recommends conforming to the Colorado Pool Code standards. Ultimately, this would be an Owner decision on how to proceed with the existing conditions and the accompanying liability.

ESTIMATED COST OPTION 1: ~\$5,000 - Guard Rail Replacement at Dive Stands Only.

Option 2: Remove/Replace Dive Stands as Needed – Once the pools are measured and compared against the Colorado Pool Code Diving Envelope, it can be determined if the pool meets code criteria for both 1-meter and 3-meter diving. If criteria are not met, there is an option to replace one (2A) or both (2B) dive stands with features that have less deep-water requirements.

ESTIMATED COST OPTION 2A: ~\$36,500 – Remove the existing 3-meter dive stand and replace with an Aquatic Climbing Wall Feature. Relocate the 1-meter dive stand and replace 1-meter dive stand guardrails.

ESTIMATED COST OPTION 2B: ~\$39,000 – Remove both existing 3-meter and 1-meter dive stands. Replace the two dive stands with an Aquatic Climbing Wall Feature and a Zipline Feature.

Option 3: Modify/Replace Pool to Accommodate Diving – Once the pools are measured and compared against the Colorado Pool Code Diving Envelope, it can be determined if the pool meets code criteria for both 1-meter and 3-meter diving. If criteria are not met, there is an option to modify or replace the existing Diving Pool to accommodate the water depth and area requirements for the boards.

ESTIMATED COST OPTION 3A: ~\$340,000 – Revise water depths and slopes within the existing Diving Pool to meet Colorado Pool Code. This pool depth revision is only feasible if deep spread-footing structures are used to support a CIP pool structure. With no existing drawings available for the pool, destructive/invasive testing would be needed to see if this option is viable.

ESTIMATED COST OPTION 3B: ~\$475,000 to \$575,000 – Provide a new Diving Pool at the Sundance facility that meets required depths for 1-meter and 3-meter diving. A new pool structure (as well as new piping and mechanical equipment) would be provided. Pool cost will vary based on the surface area of the new pool and the quality of new equipment provided. It is important to note that selecting option 3B would replace any Diving Pool Improvement suggestions listed in the Opinion of Probable Cost.

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AQUATICS FOR LIFE

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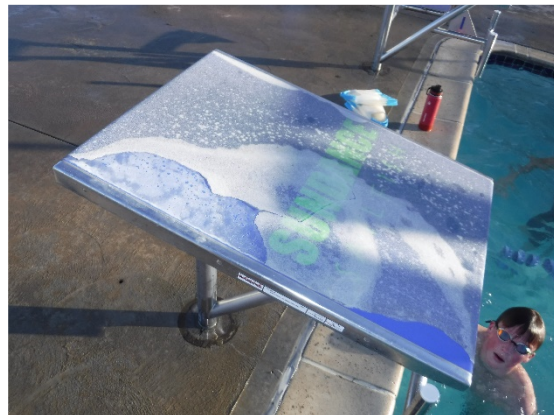
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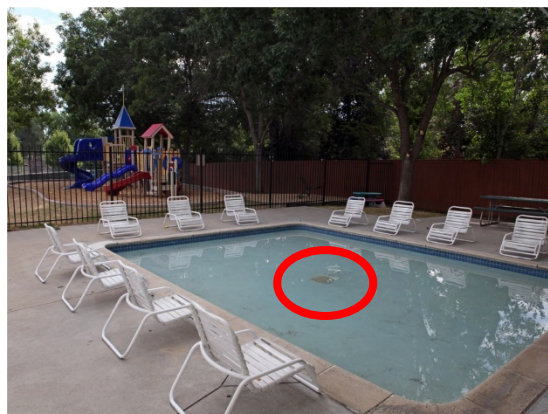
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OPINION OF PROBABLE COST



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AQUATICS FOR LIFE

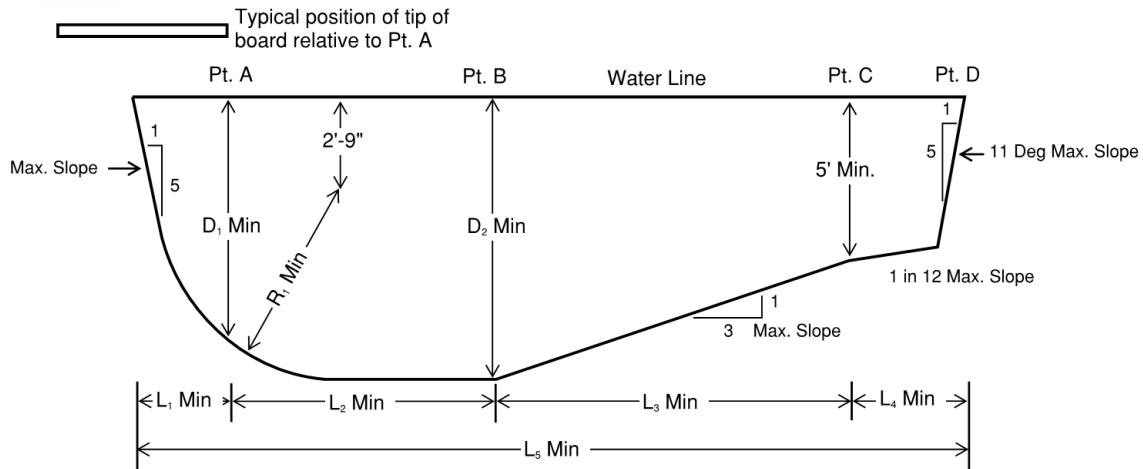
Sundance Hill Metro District Pool and Park Renovation
*PRELIMINARY Opinion of Probable Construction Cost

3/11/2021

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ADA Lift Installations - Lap & Diving Pools	HIGH	\$10,500.00
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VGB Main Drain Grate Replacement - All Pools	HIGH	\$2,500.00
<i>1 Year Subtotal</i>		<u>\$179,500.00</u>
<u>2-5 Year Improvements</u>		
Starting Block Top & Step Resurfacing - Lap Pool	MEDIUM	\$6,000.00
New Pool Covers & Reels - Lap & Diving Pools	MEDIUM	\$30,000.00
New Backstroke Stanchions - Lap Pool	LOW	\$1,000.00
New Lane Ropes - Lap Pool	MEDIUM	\$2,500.00
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LED Underwater Light Fixtures & Cord - Lap Pool	MEDIUM	\$6,000.00
Pool & Mechanical Equipment Replacement (~1200sf) - Wading Pool	MEDIUM	\$490,000.00
Dive Stand Options - Diving Pool	HIGH	Refer to Appendix C
Safety Padding Replacement - Diving Pool	MEDIUM	\$32,500.00
Replace Recirculation Pumps - Lap & Diving Pools	HIGH	\$14,500.00
Recirculation Pump Gauges and Housekeeping Pads - Lap & Diving Pools	HIGH	\$3,000.00
Add Pump Pit	HIGH	Refer to Structural
Replace Filters & Face Piping - Lap & Diving Pools	HIGH	\$65,000.00
Replace Pool Heaters (Standard Efficiency) - Lap & Diving Pools	MEDIUM	\$81,000.00
<i>2-5 Year Subtotal</i>		<u>\$745,500.00</u>
<u>6-10 Year Improvements</u>		
Automatic Sanitizer System (Calcium Hypochlorite) - Lap & Diving Pools	LOW	\$21,000.00
pH Buffer System (Muriatic Acid) - Lap & Diving Pools	LOW	\$8,500.00
Automated Water Chemistry Controllers - Lap & Diving Pools	MEDIUM	\$22,000.00
Replace all Exposed Mech Room Piping & Supports - Lap & Diving Pools	HIGH	\$45,000.00
Provide Recirculation Pump VFDs - Lap & Diving Pools	LOW	\$11,000.00
Add Chemical Storage Rooms	MEDIUM	Refer to Architectural
<i>6-10 Year Subtotal</i>		<u>\$107,500.00</u>
TOTAL AQUATICS COST ESTIMATE (Inflation & general contractor mark-up not included)		\$1,032,500.00
Contingency	15%	\$1,187,375.00
TOTAL AQUATICS COST ESTIMATE		\$1,188,000.00

The Consultant has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable cost are representative only of the Consultant's judgment as a design professional familiar with the construction industry. The Consultant cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinion of probable costs.

APPENDIX A: Colorado Pool Code Section 3.1 - Required Diving Envelopes



Note: L4 is a minimum dimension to allow sufficient length opposite the board. This may of course be lengthened to form the shallow portion of the pool.

Related Diving Equipment		Minimum Dimensions								Minimum Width of Pool at		
Max Diving Board length	Max Board Height Over Water	D ₁	D ₂	R ₁	L ₁	L ₂	L ₃	L ₄	L ₅	PT.A	PT.B	PT.C
210'	26" (2/3 meter)	7'-0"	8'-6"	5'-6"	2'-6"	8'-0"	10'-6"	7'-0"	28'-0"	16'-0"	18'-0"	18'-0"
12'	30" (3/4 meter)	7'-6"	9'-0"	6'-0"	3'-0"	9'-0"	12'-0"	4'-0"	28'-0"	18'-0"	20'-0"	20'-0"
16' 1	1 meter	8'-6"	10'-0"	7'-0"	4'-0"	10'-0"	15'-0"	2'-0"	31'-0"	20'-0"	22'-0"	22'-0"
16' 3	3 meter	11'-0"	12'-0"	8'-6"	6'-0"	10'-6"	21'-0"	0	37'-6"	22'-0"	24'-0"	24'-0"

L1, L3, L4, combined represent the minimum distance from the tip of board to pool wall opposite diving equipment.

APPENDIX B: Short Narrative Regarding Energy Efficiency at Aquatic Facilities

Counsilman-Hunsaker has designed many facilities at varying levels of efficiency. The unfortunate truth is that pools are inherently very costly in terms of energy. However, there are many different techniques that can be applied to reduce these costs. One major technique is already used at Sundance: applying pool covers nightly while the facility is closed is one of the best ways to conserve energy. Pool Covers significantly lower the energy required for heating, and they also conserve water by preventing evaporation at the pool surface.

Other techniques can be applied to increase efficiency. In most modern pool designs, pumps are supplied with Variable Frequency Drives (VFDs) to prevent the pump from overworking. Automated water chemistry controllers and feed systems can also save yearly costs by reducing the amount of chemicals required. Pool Heating technology has come a long way – ultra-high efficiency indirect gas fired pool heaters are now available. Generally, these heaters cost more upfront, but pay for themselves with longer warranties, less maintenance, and lower natural gas costs. Supplemental technology provided by the Mechanical Consultant can also be used to increase efficiency, such as Solar Panels or rejected heat loops from Dehumidification Units.

APPENDIX C: Options for Diving Boards at Sundance

Diving envelopes must be measured at the Sundance Diving Pool. During the site visit by C-H, the pool was winterized with a safety cover so the diving pool could not be observed, and measurements could not be taken. The options below describe different avenues the Owner could take, based upon findings once measurements are taken.

Option 1: Grandfathering – C-H discussed with a representative (John Bergstrom) at the local Tri-County Health Department to see what would be required if renovations are completed at the existing Diving Pool. The equipment such as pumps, filters, heaters, exposed piping, and plaster could be replaced without disrupting the current Grandfather Status of the 1-meter and 3-meter diving boards; so long as the pool structure is not modified. While this would result in minimal costs required at the pool for the dive stands, C-H still highly recommends conforming to the Colorado Pool Code standards. Ultimately, this would be an Owner decision on how to proceed with the existing conditions and the accompanying liability.

ESTIMATED COST OPTION 1: ~\$5,000 - Guard Rail Replacement at Dive Stands Only.

Option 2: Remove/Replace Dive Stands as Needed – Once the pools are measured and compared against the Colorado Pool Code Diving Envelope, it can be determined if the pool meets code criteria for both 1-meter and 3-meter diving. If criteria are not met, there is an option to replace one (2A) or both (2B) dive stands with features that have less deep-water requirements.

ESTIMATED COST OPTION 2A: ~\$36,500 – Remove the existing 3-meter dive stand and replace with an Aquatic Climbing Wall Feature. Relocate the 1-meter dive stand and replace 1-meter dive stand guardrails.

ESTIMATED COST OPTION 2B: ~\$39,000 – Remove both existing 3-meter and 1-meter dive stands. Replace the two dive stands with an Aquatic Climbing Wall Feature and a Zipline Feature.

Option 3: Modify/Replace Pool to Accommodate Diving – Once the pools are measured and compared against the Colorado Pool Code Diving Envelope, it can be determined if the pool meets code criteria for both 1-meter and 3-meter diving. If criteria are not met, there is an option to modify or replace the existing Diving Pool to accommodate the water depth and area requirements for the boards.

ESTIMATED COST OPTION 3A: ~\$340,000 – Revise water depths and slopes within the existing Diving Pool to meet Colorado Pool Code. This pool depth revision is only feasible if deep spread-footing structures are used to support a CIP pool structure. With no existing drawings available for the pool, destructive/invasive testing would be needed to see if this option is viable.

ESTIMATED COST OPTION 3B: ~\$475,000 to \$575,000 – Provide a new Diving Pool at the Sundance facility that meets required depths for 1-meter and 3-meter diving. A new pool structure (as well as new piping and mechanical equipment) would be provided. Pool cost will vary based on the surface area of the new pool and the quality of new equipment provided. It is important to note that selecting option 3B would replace any Diving Pool Improvement suggestions listed in the Opinion of Probable Cost.

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Request for Information 015

Detailed, RFIs Grouped by RFI Number

Sundance Hills Park & Pool Project # 30-21-041 FCI Constructors, Inc. - Frederick
5626 S. Galena St., Greenwood Village, CO 80111 Tel: Fax:

RFI #: 015 Date Created: 2/16/2022

Table with 4 columns: Answer Company, Answered By, Author Company, Authored By. Row 1: Essenza Architecture, Megan Stanley, FCI Constructors, Inc. - Frederick, Luke Nyenhuis.

Co-Respondent Author RFI Number

Table with 3 columns: Subject, Discipline, Category. Row 1: Dive Pool Depth Conflict, Architectural/Structural, Request for Information.

Cc: Company Name Contact Name Copies Notes

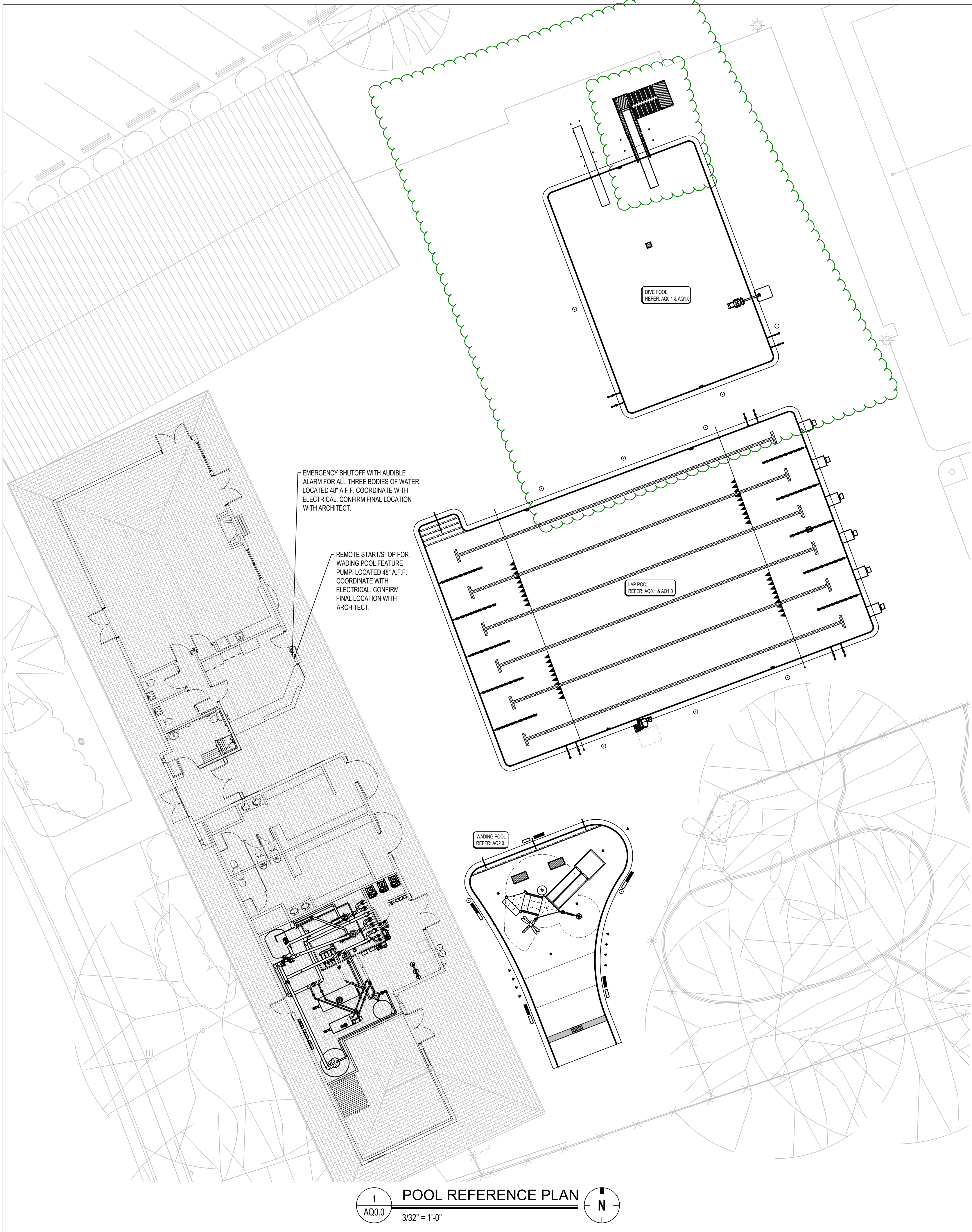
Question Date Required: 2/23/2022

[2/16/2022 FCI Constructors, Inc. - Frederick - Luke Nyenhuis]
Reference:
- Attached
- AQ0.0
- 10/AQ1.1

During measurements for depth markers in the Dive Pool, Pool Contractor observed that the Dive Pool does not meet the minimum depth requirements for a 3-meter diving board. The Dive Pool is 11'-9" and the minimum depth is 12'-0". Pool Contractor's understanding of the governing code is that by removing the existing dive stand, the system is no longer exempt from meeting the minimum code requirements. Pool Contractor is not certain a new 3-meter dive stand can be provided per code. Please provide direction or written acceptance of the existing dive pool depths and installation of the new 3-meter dive stand. If Owner wants to proceed with providing alternative play feature that meets code, please provide feature and details.

Suggestion

Answer Date Answered:



GENERAL POOL NOTES

1. DENOTES WATER DEPTH FROM WATER LEVEL.
2. POOL FINISH SHALL BE A PROPRIETARY AGGREGATE PLASTER WITH A 6" CERAMIC WATERLINE TILE BAND AND A CONCRETE PERIMETER COPING WITH TILE DECK MARKINGS.
3. ALL POOL FLOOR AREAS 18" AND SHALLOWER AND ALL STAIR TREADS SHALL HAVE A SLIP RESISTANT FINISH.
4. TYPICAL POOL DIMENSIONS SHOWN ARE FROM INSIDE FINISHED POOL WALL.
5. REFER TO STRUCTURAL DRAWINGS FOR ALL DIMENSIONS RELATING TO THE THICKNESS OF THE WADING POOL SHELL.
6. THE JUNCTION BETWEEN THE SWIMMING POOL WALL AND THE FLOOR SHALL BE COVERED WITH A MAXIMUM 6" RADIUS.
7. DEPTH MARKERS AND WARNING SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS. DEPTH MARKERS AND WARNING SIGNS SHALL NOT EXCEED 25'-0" APART FROM EACH OTHER, AND SHALL BE PLACED AT EVEN FOOT INTERVALS PER LOCAL CODE.
8. ALL PROPRIETARY NAMES MENTIONED ARE TO DESIGNATE PERFORMANCE STANDARDS. EQUIVALENT PRODUCTS SHALL BE SUBMITTED FOR APPROVAL.
9. SLIP RESISTANT DECK FINISH REQUIRED. REFER TO ARCHITECT.
10. REFER TO PLUMBING FOR DECK DRAINS AND HOSE BIBBS.
11. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE POOL.
12. REFER TO ELECTRICAL FOR GFI OUTLETS ON POOL DECK.
13. ELECTRICAL INSPECTOR SHALL APPROVE INSTALLATION OF BONDING GRID FOR POOL REINFORCING AND ALL POOL EMBEDS PRIOR TO PLACEMENT OF CONCRETE.
14. NO GROUND WATER SHALL BE ALLOWED TO RISE ABOVE ANY PORTION OF THE POOL BOTTOM DURING CONSTRUCTION.
15. ALL METALLIC PORTIONS OF ALL PLAY FEATURES SHALL BE BRASS, BRONZE, OR EPOXY COATED STAINLESS STEEL.
16. ALL POOL REINFORCING STEEL, METAL FITTINGS, EQUIPMENT WITHIN 5'-0" OF POOL EDGE AND ANY METAL PARTS OF POOL EQUIPMENT IN CONTACT WITH POOL RECIRCULATION SYSTEM SHALL BE BONDED PER NEC 680. REFER: 4AQ5.5

DESIGN DATA

	UNITS	WADING POOL	LAP POOL*	DIVE POOL*
LENGTH	FT.	VARIES	75'-0"	45'-0"
WIDTH	FT.	VARIES	45'-0"	30'-0"
WATER SURFACE AREA	SQ. FT.	702	3,407	1,350
PERIMETER	FT.	114'-0"	248'-0"	150'-0"
VOLUME	GALLON	4,545	101,339	93,623
RECIRCULATION SYSTEM				
POOL TURNOVER RATE	HOOR	0.76	5.82	5.67
RECIRCULATION RATE	GPM	100	290	275
SEWER CAPACITY	GPM	REFER TO PLUMBING	REFER TO PLUMBING	REFER TO PLUMBING
BATHER LOAD	PERSON	46	227	30

* THE EXISTING POOLS ARE NOT BEING STRUCTURALLY MODIFIED, AND ARE THEREFORE GRANDFATHERED BY TRI-COUNTY HEALTH DEPARTMENT FOR CONTINUED USE AS-IS.

GENERAL POOL DEMOLITION & RENOVATION NOTES

1. COORDINATE ALL DEMOLITION PLANS AND WORK WITH ARCHITECT AND CONSTRUCTION DOCUMENTS PRIOR TO THE START OF DEMOLITION.
2. REVIEW RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY THE OWNER. NEITHER THE OWNER NOR ENGINEER MAKES ANY GUARANTEE THAT THE EXISTING CONDITIONS REFLECT THOSE INDICATED IN THE RECORD DOCUMENTS. CONTRACTOR TO PROVIDE NOTIFICATION OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH DEMOLITION.
3. CONTRACTOR TO SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED IN THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED. CONTRACTOR TO RECORD EXISTING CONDITIONS WITH DETAILED PRECONSTRUCTION PHOTOGRAPHS.
4. UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF THE CONTRACTOR.
5. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL DEMOLITION MATERIALS.
6. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY THE OWNER AND ENGINEER.
7. INDICATE RECEIPT AND ACCEPTANCE OF ANY HAZARDOUS WASTES BY A LANDFILL FACILITY LICENSED TO ACCEPT SUCH HAZARDOUS WASTES.
8. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. REFER TO OTHER TRADES FOR COORDINATION.
9. ELECTRICIAN SHALL VERIFY EXISTING BOND GRID. ALL NEW EMBEDS AND MECHANICAL EQUIPMENT SHALL BE BONDED PER NEC ARTICLE 680.
10. PRIOR TO DRAINING THE POOLS FOR CONSTRUCTION, THE CONTRACTOR SHALL COMPLETE A PRESSURE TEST AT ALL EXISTING LAP AND DIVE POOL PIPING THAT IS TO BE RE-USED. REPORT TEST RESULTS FOR THE ENGINEER TO REVIEW. REFER TO THE SWIMMING POOL SPECIFICATION FOR TESTING REQUIREMENTS.
11. PROTECT ALL EXISTING POOL FINISHES, GUTTERS, MAIN DRAINS, AND ANY OTHER POOL RELATED APPURTENANCES DURING CONSTRUCTION.
12. ALL EXISTING BELOW GRADE PIPING SHALL BE PROTECTED DURING CONSTRUCTION.
13. CONTRACTOR TO DRAIN, CAP, AND BLOW OUT ALL PIPES VIA WINTERIZATION TAPS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUSLY MONITORING GROUNDWATER LEVELS ON THE SITE DURING ANY AND ALL PERIODS WHEN THE SWIMMING POOL IS NOT FULL OF WATER. PROTECTION OF THE EXISTING POOL STRUCTURE FROM DAMAGE DUE TO HYDROSTATIC PRESSURE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS FOLLOWING DEMOLITION OPERATIONS. CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE THE START OF DEMOLITION OPERATIONS.

POOL ALTERNATES (NIC)

- ALTERNATE #9 - UNDERWATER LIGHT REPLACEMENT**
 BASE BID: EXISTING UNDERWATER LIGHTS ARE TO REMAIN.
 ALTERNATE: REMOVE AND PROPERLY DISPOSE OF EXISTING UNDERWATER LIGHTS AND WIRING. PROVIDE AND INSTALL UNDERWATER LIGHTS AND WIRING. CONTRACTOR TO RE-USE ALL EXISTING NICHES, CONDUIT, AND JUNCTION BOXES.
- ALTERNATE #10: POOL VACUUM**
 BASE BID: DO NOT PROVIDE A PORTABLE POOL VACUUM.
 ALTERNATE: PROVIDE THE PORTABLE POOL VACUUM AND ACCESSORIES LISTED IN SPECIFICATION 131100.
- ALTERNATE #11: WAVE SPRAY FEATURE**
 BASE BID: DO NOT PROVIDE WAVE SPRAY FEATURE OR ANY ASSOCIATED PIPING AT THE WADING POOL.
 ALTERNATE: PROVIDE ONE (1) WAVE SPRAY FEATURE AND ASSOCIATED PIPING AT THE WADING POOL. REFER TO SPECIFICATION 131100 PARAGRAPH 2.17.
- ALTERNATE #12: SPRAY TUNNEL FEATURES**
 BASE BID: PROVIDE ONE (1) SPRAY TUNNEL FEATURE AND ALL ASSOCIATED PIPING ON THE EAST SIDE OF THE WADING POOL.
 ALTERNATE: PROVIDE TWO (2) SPRAY TUNNEL FEATURES AND ALL ASSOCIATED PIPING AT THE WADING POOL. REFER TO SPECIFICATION 131100 PARAGRAPH 2.17.
- ALTERNATE #14: POOL HEATER COLD WATER RUN SYSTEM**
 BASE BID: PROVIDE A COLD WATER RUN PACKAGE AT THE LAP POOL HEATER. PROVIDE AN H-BYPASS PACKAGE AT THE DIVE POOL AND WADING POOL HEATERS.
 ALTERNATE: PROVIDE A COLD WATER RUN PACKAGE AT ALL THREE POOL HEATERS. REFER TO SPECIFICATION 131100 PARAGRAPH 2.19.

DRAWING INDEX

SHEET	DESCRIPTION
AQ0.0	POOL REFERENCE PLAN
AQ0.1	EXISTING POOLS DEMOLITION PLAN
AQ1.0	EXISTING POOLS RENOVATION PLAN
AQ1.1	EXISTING POOLS DETAILS
AQ2.0	WADING POOL PLAN & SECTIONS
AQ2.1	WADING POOL DETAILS
AQ3.0	WADING POOL LOCATION POINT PLAN
AQ4.0	WADING POOL SUCTION PIPING PLAN
AQ4.1	WADING POOL RETURN PIPING PLAN
AQ5.0	POOL MECHANICAL DEMOLITION PLAN
AQ5.1	POOL MECHANICAL NOTES & SCHEDULES
AQ5.2	POOL MECHANICAL ROOM PLAN & SECTIONS
AQ5.3	POOL MECHANICAL DETAILS
AQ5.4	POOL MECHANICAL DETAILS
AQ5.5	POOL MECHANICAL DETAILS
AQ6.0	LAP POOL SYSTEMS SCHEMATIC
AQ6.1	DIVE POOL SYSTEMS SCHEMATIC
AQ6.2	WADING POOL SYSTEMS SCHEMATIC
AQ7.0	WADING POOL GENERAL NOTES
AQ7.1	WADING POOL STRUCT PLAN & DETAILS
AQ7.2	WADING POOL STRUCTURAL DETAILS

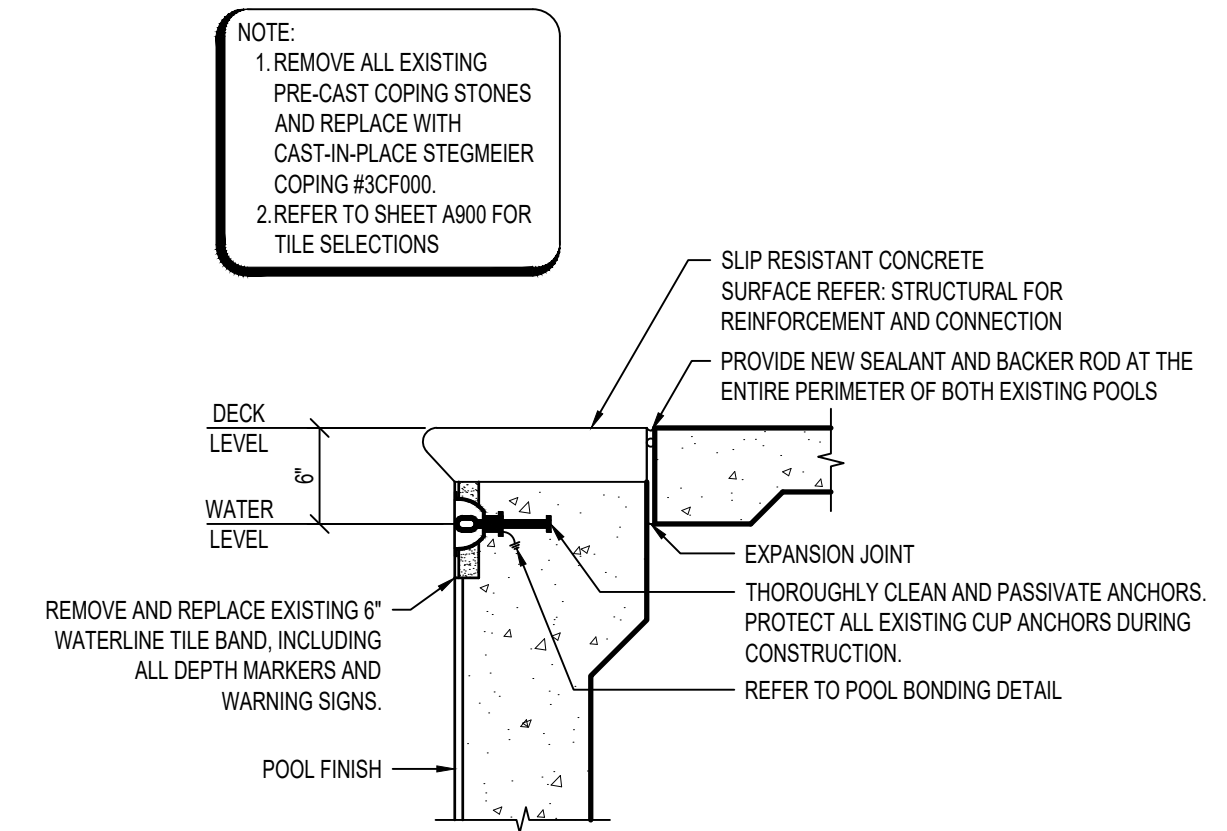
1
AQ0.0
3/32" = 1'-0"
N



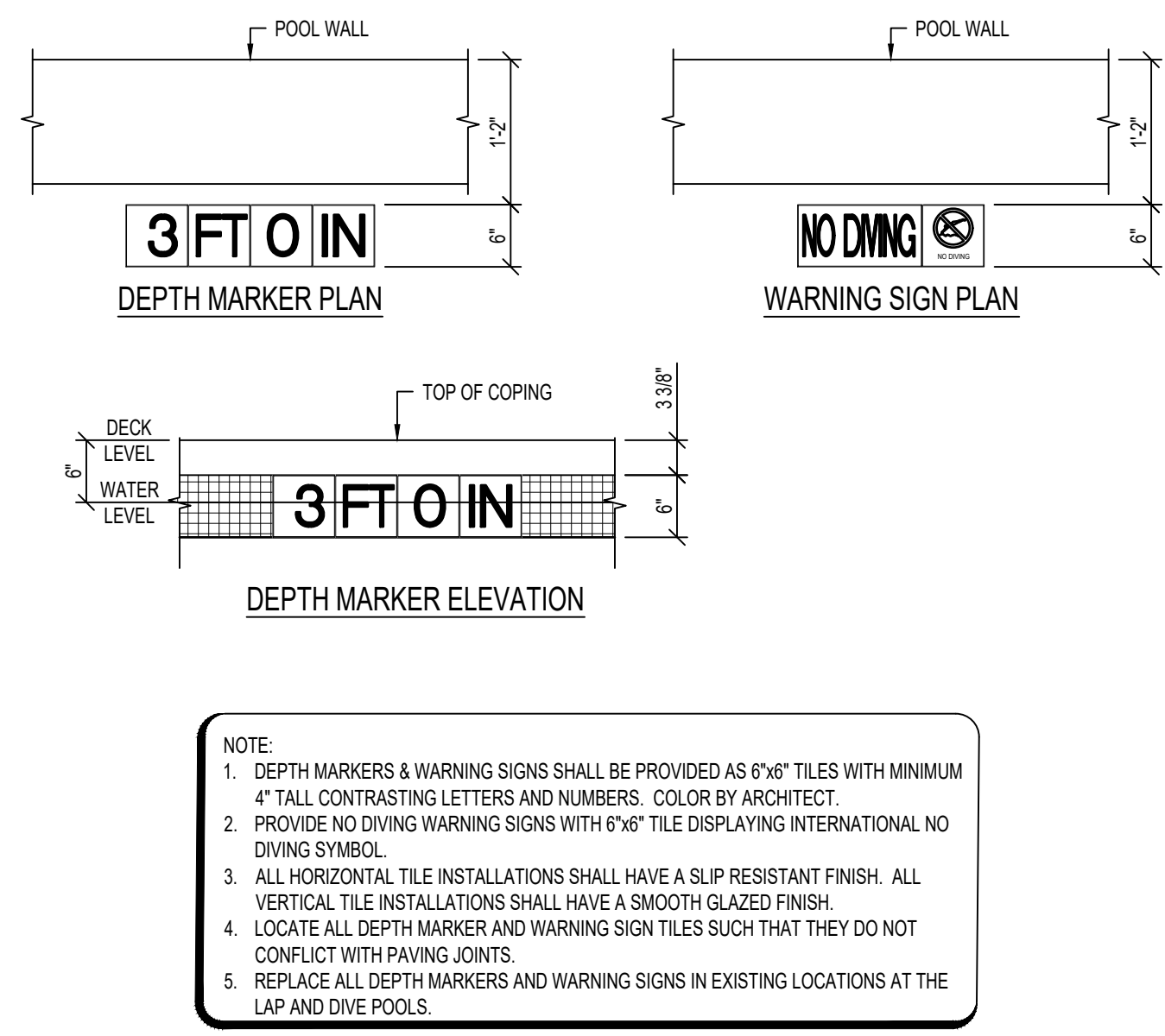
ISSUE:
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DATE:
01/13/2022
REVISIONS:

DRAWN BY:
KAS
REVIEWED BY:
CCH
PROJECT #:
2101
DRAWING TITLE:
EXISTING POOLS DETAILS

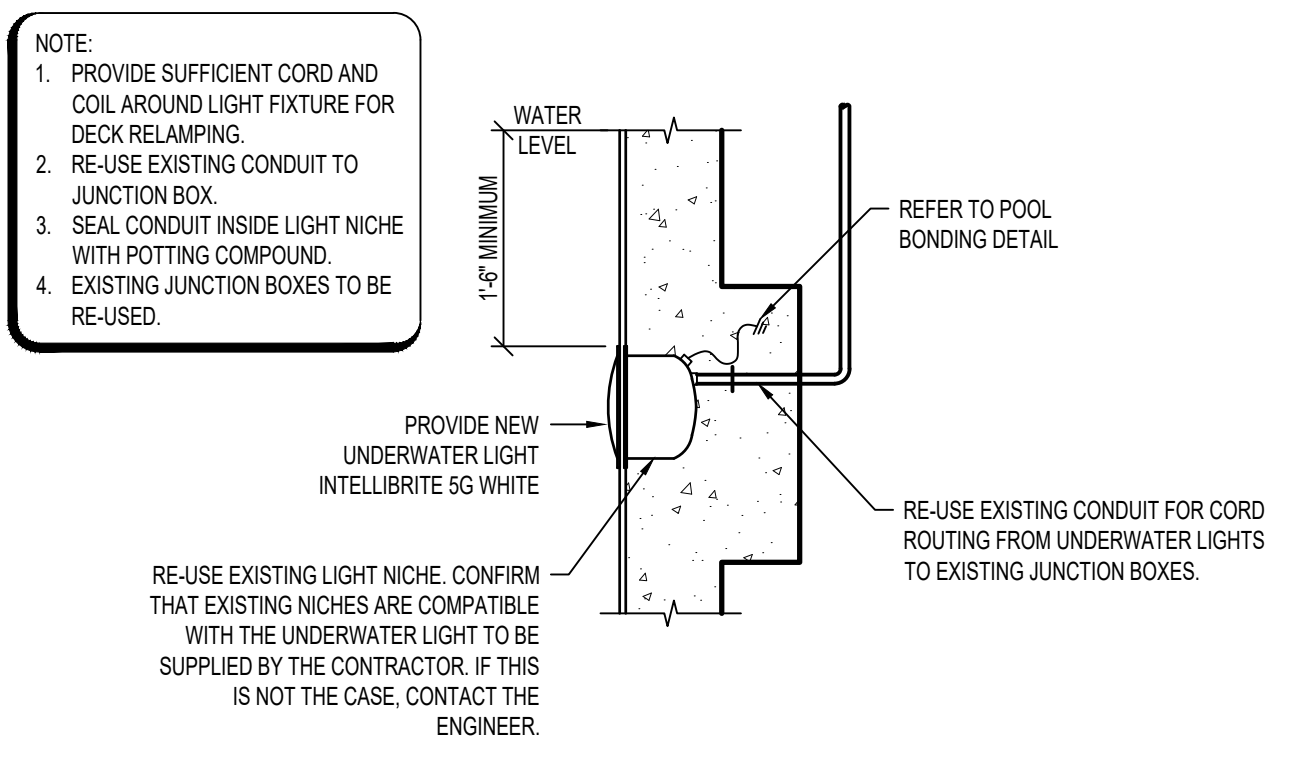
SHEET #:
AQ1.1



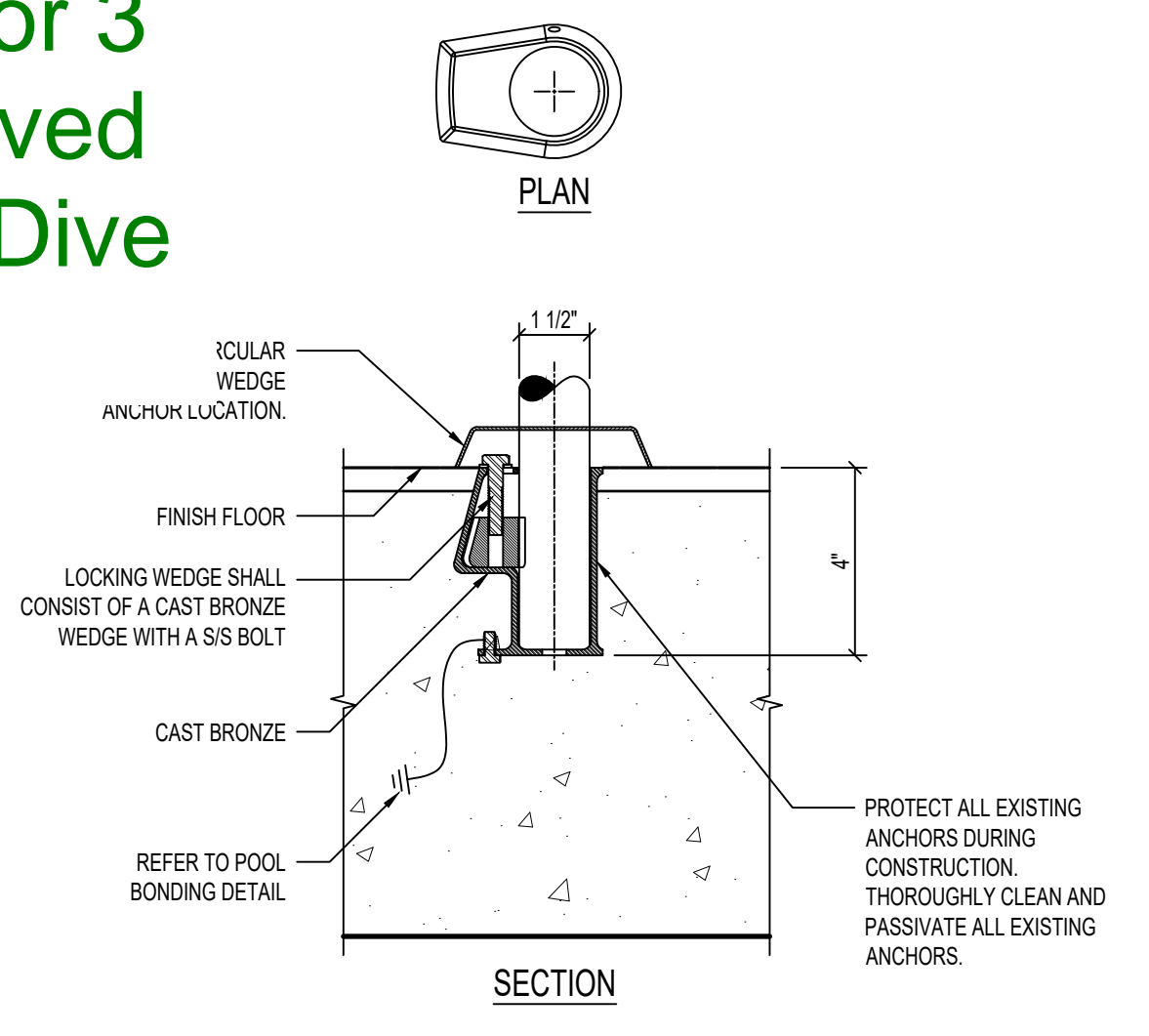
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AQ1.1
EXISTING POOL WALL SECTION
1" = 1'-0"



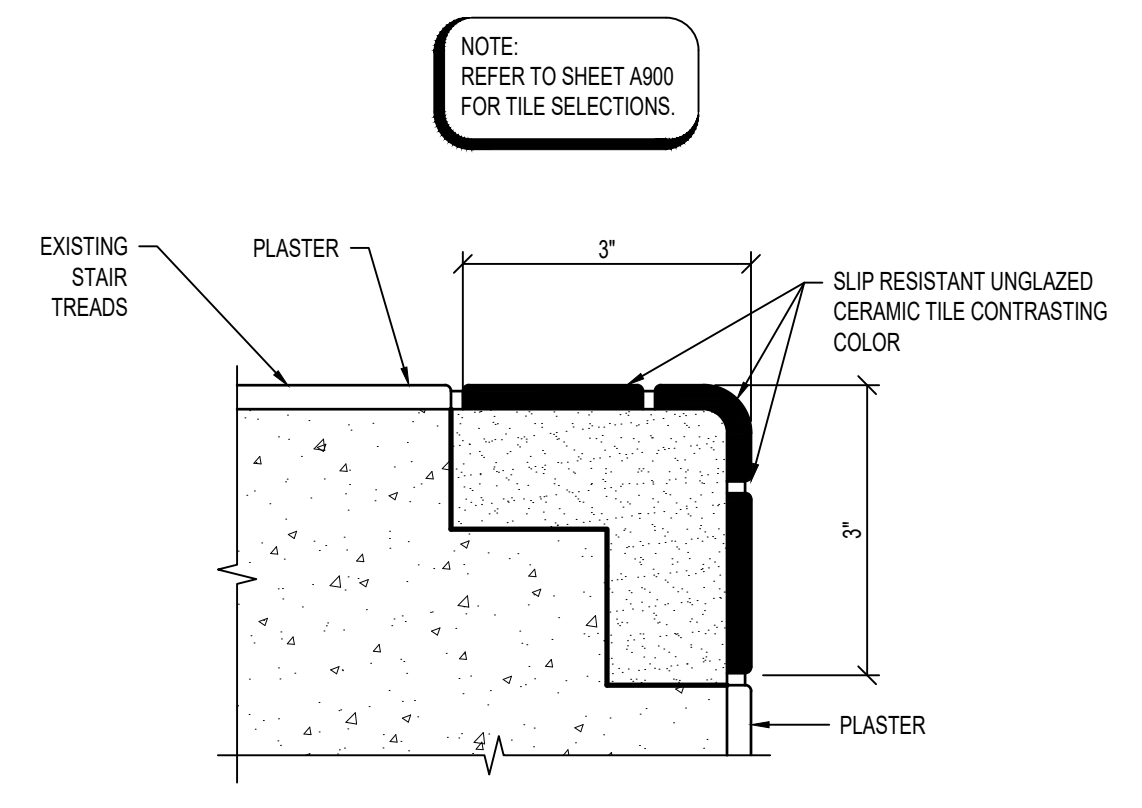
4
AQ1.1
NEW DEPTH MARKERS AND WARNING SIGNS
3/4" = 1'-0"



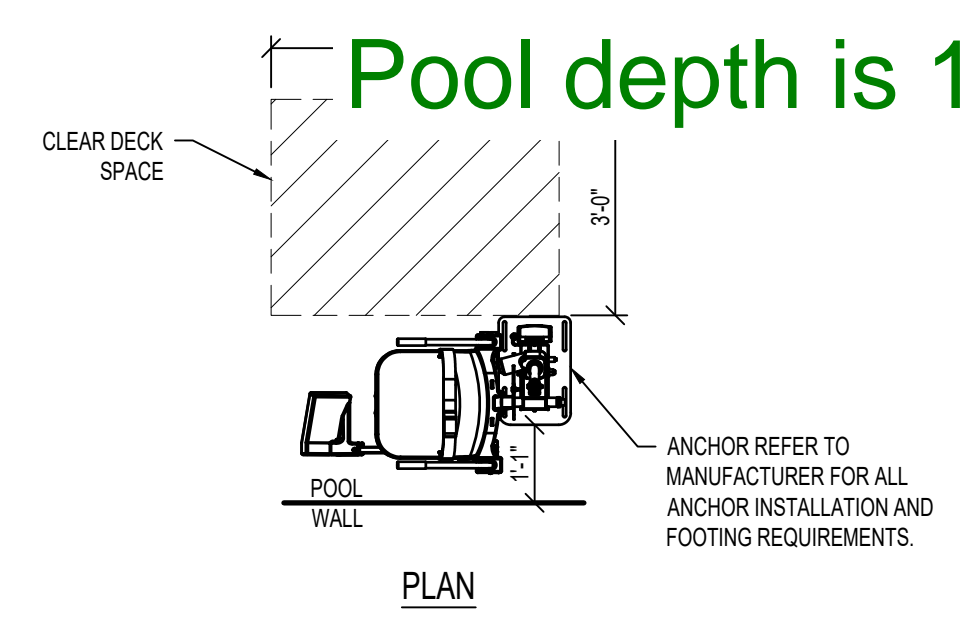
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AQ1.1
UNDERWATER LIGHT REPLACEMENT-ALTERNATE #9
3/4" = 1'-0" (NIC)



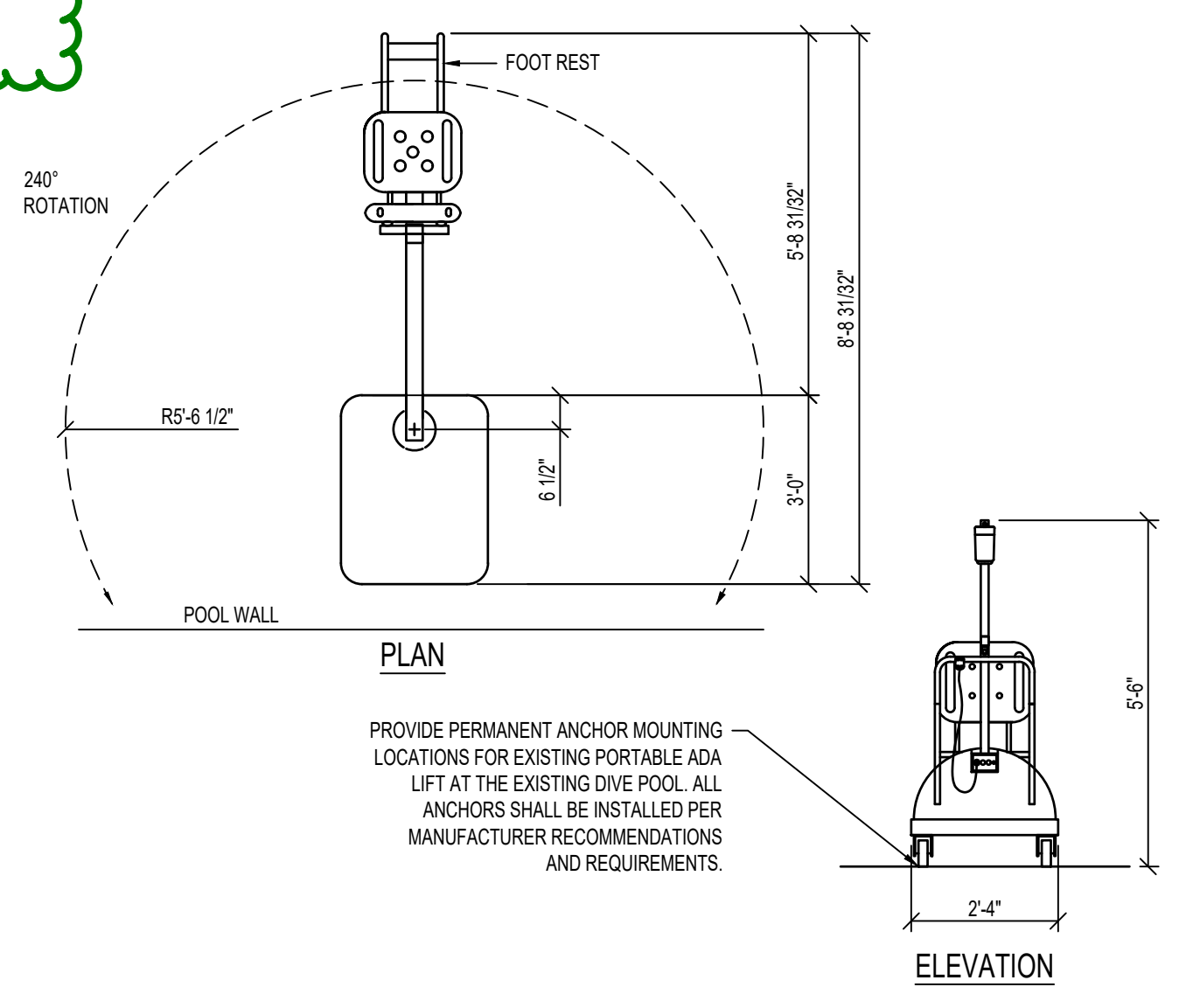
5
AQ1.1
EXISTING ANCHORS & ESCUTCHEONS
3" = 1'-0"



3
AQ1.1
CONTRASTING NOSING ADDITION
6" = 1'-0"

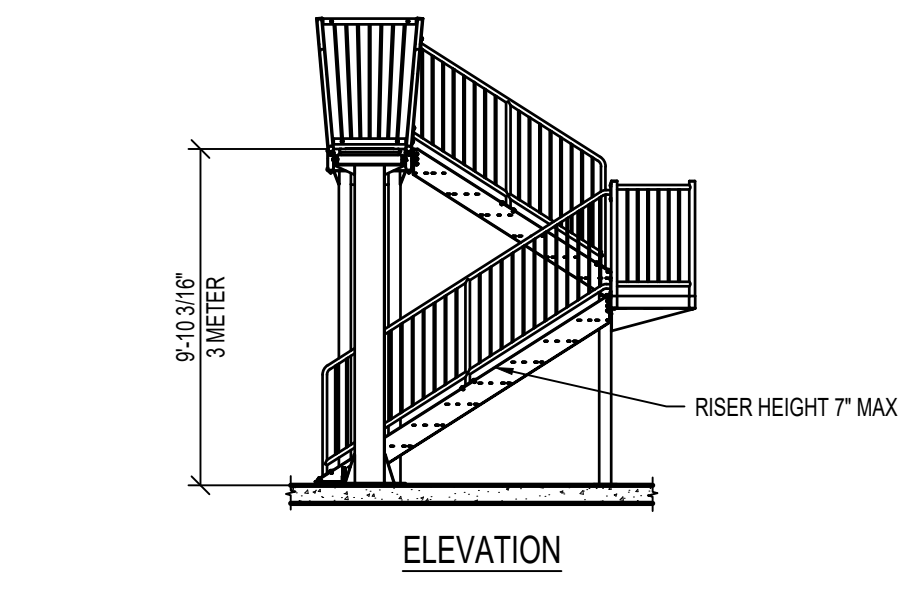


8
AQ1.1
NEW LAP POOL ADA LIFT
3/8" = 1'-0"

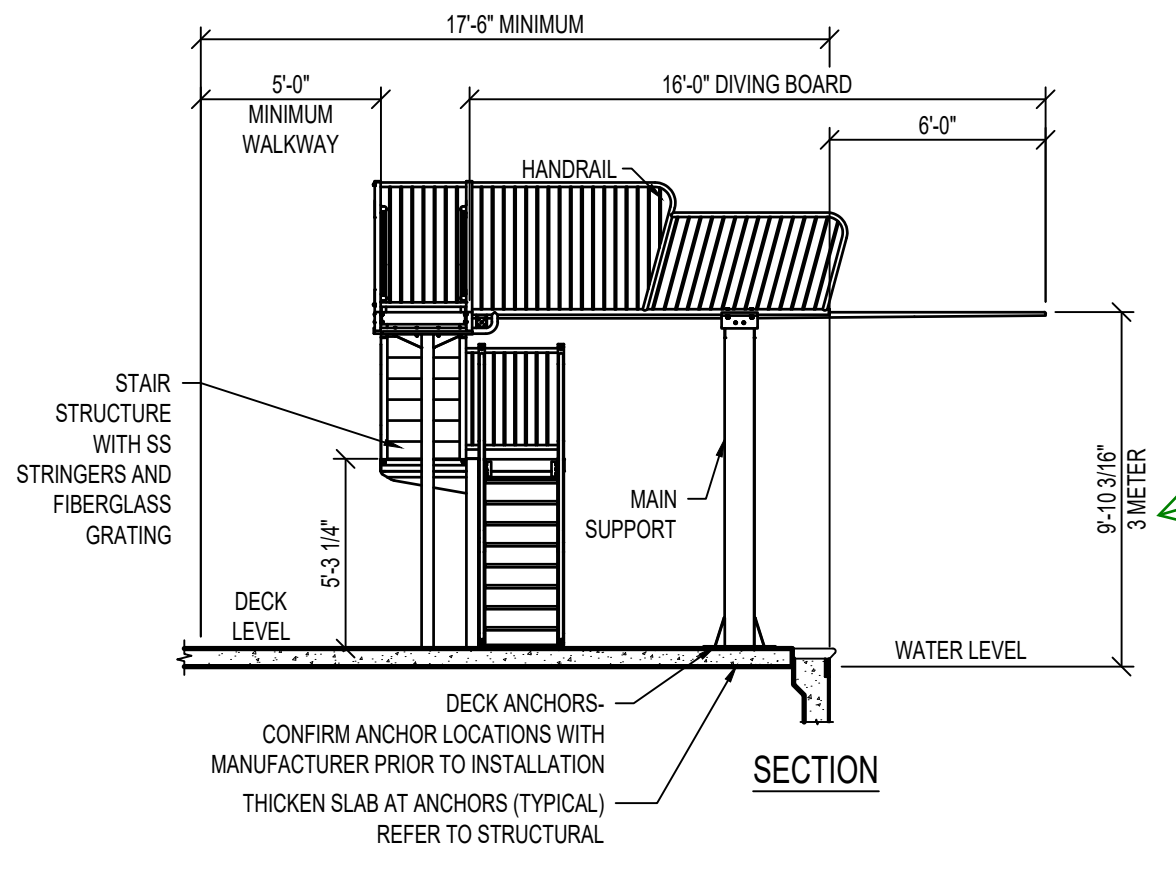


9
AQ1.1
EXISTING PORTABLE ADA LIFT
3/8" = 1'-0"

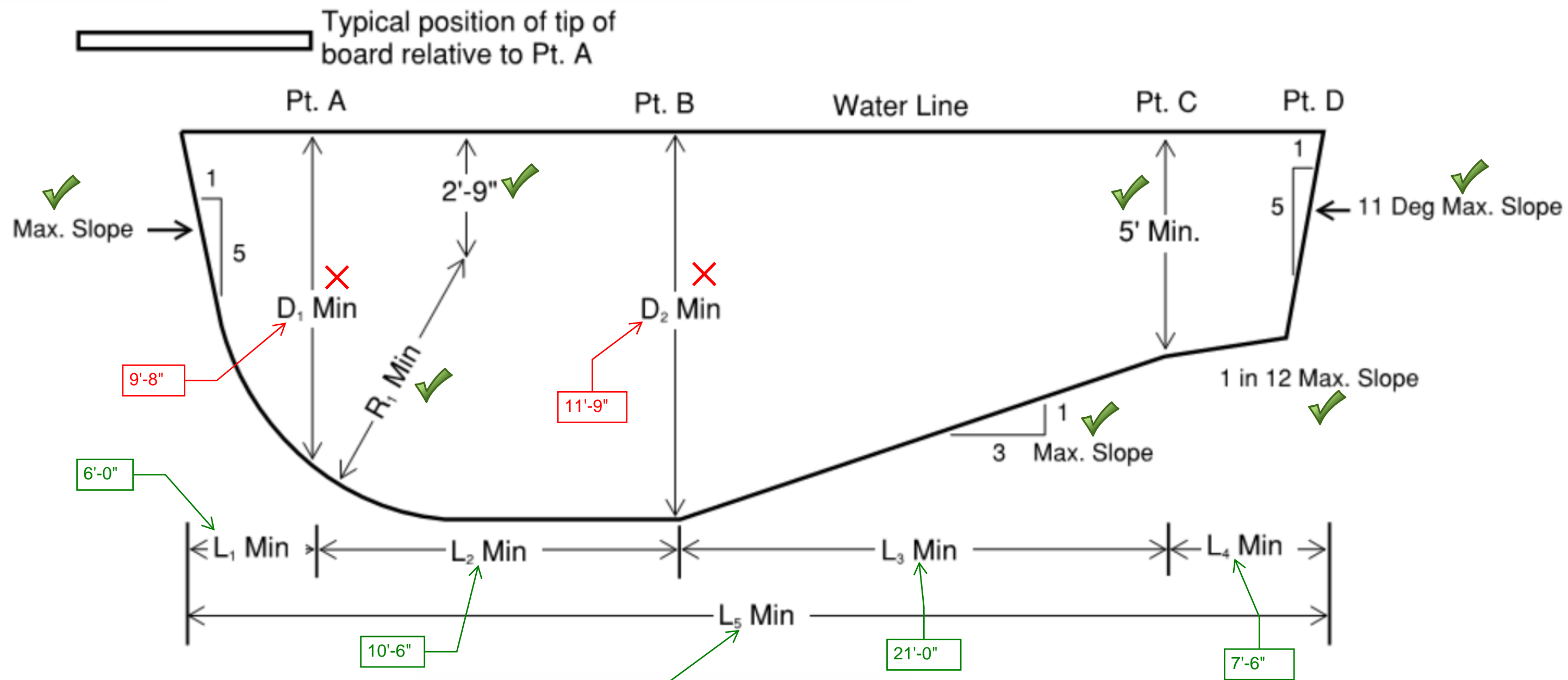
Minimum depth of pool for 3 meter dive stand is believed to be 12'-0" and current Dive Pool depth is 11'-9"



10
AQ1.1
THREE METER DIVING STAND
3/16" = 1'-0"



APPENDIX A: Colorado Pool Code Section 3.1 - Required Diving Envelopes

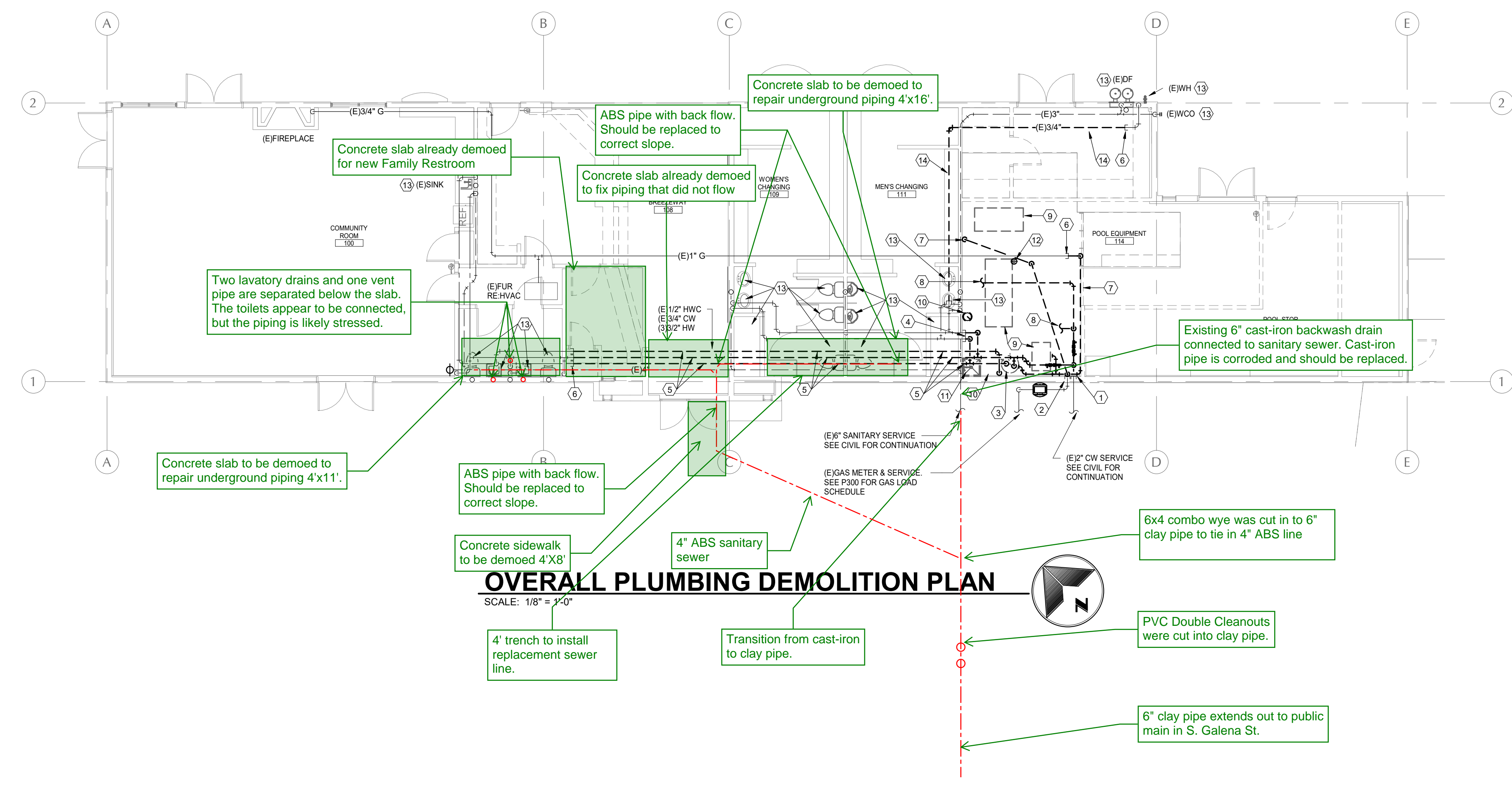


Note: L₄ is a minimum dimension to allow sufficient length opposite the board. This may of course be lengthened to form the shallow portion of the pool.

Related Diving Equipment		Minimum Dimensions								Minimum Width of Pool at		
Max Diving Board length	Max Board Height Over Water	D ₁	D ₂	R ₁	L ₁	L ₂	L ₃	L ₄	L ₅	PT.A	PT.B	PT.C
210'	26" (2/3 meter)	7'-0"	8'-6"	5'-6"	2'-6"	8'-0"	10'-6'	7'-0"	28'-0"	16'-0"	18'-0"	18'-0"
12'	30" (3/4 meter)	7'-6"	9'-0"	6'-0"	3'-0"	9'-0"	12'-0"	4'-0"	28'-0"	18'-0"	20'-0"	20'-0"
16' 1	1 meter	8'-6"	10'-0"	7'-0"	4'-0"	10'-0"	15'-0"	2'-0"	31'-0"	20'-0"	22'-0"	22'-0"
16' 3	3 meter	X	X	✓	✓	✓	✓	✓	✓	✓	✓	✓
		11'-0"	12'-0"	8'-6"	6'-0"	10'-6"	21'-0"	0	37'-6"	22'-0"	24'-0"	24'-0"

L₁, L₃, L₄, combined represent the minimum distance from the tip of board to pool wall opposite diving equipment. ✓

- PLUMBING DEMOLITION KEYNOTES:**
- ① CAP (E)CW ENTRY AT FLOOR. REMOVE DOWNSTREAM PIPING AS SHOWN.
 - ② CAP (E)GAS AS IT ENTERS THE BUILDING. REMOVE DOWNSTREAM PIPING AS SHOWN.
 - ③ REMOVE (E)GWH & ALL ASSOCIATED PIPING.
 - ④ CAP (E)CW & HW AT WALL THAT SERVES EXISTING CHANGING ROOMS.
 - ⑤ REMOVE (E)CW, HW, & HWC PIPING WITHIN ATTIC FOR REPLACEMENT.
 - ⑥ CAP (E)PIPING AS INDICATED.
 - ⑦ REMOVE (E)GAS AS SHOWN.
 - ⑧ REMOVE (E)POOL FILL.
 - ⑨ (E)POOL HEATER TO BE REMOVED. DEMO ALL GAS AS SHOWN.
 - ⑩ REMOVE (E)POOL BACKWASH STANDPIPE. CAP PIPING AS SHOWN FOR RECONNECTION.
 - ⑪ REMOVE (E)FIXTURE. CAP WATER AND WASTE IN WALL.
 - ⑫ REMOVE (E)FD. COORDINATE EXISTING PIPING BELOW SLAB IN FIELD. CUT BACK AS NEEDED TO SUPPORT NEW PUMP FT.
 - ⑬ (E)FIXTURE TO REMAIN.
 - ⑭ REMOVE (E)CW PIPING AS SHOWN.



OVERALL PLUMBING DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

